

TOWN PLANNING DRAWINGS

SITE INFORMATION	
Building Classification:	Class 1a (Single Storey)
Land Title Reference:	- Plan of Subdivision: LP137186
Wind Classification:	- N2 <i>Site Classification to AS4055-2006</i>
Soil Classification:	TBC By: TBC <i>Site Classification to AS2870-2011</i>
Climate Zone:	- 6
BAL Level:	- TBC <i>Site Classification to AS3959-2018</i>
Floor Area:	- REFER INDIVIDUAL FLOOR PLANS
Alfresco Area:	- REFER INDIVIDUAL FLOOR PLANS
SUB-CONSULTANT	
Engineering:	TBC
Energy Rating:	TBC

As per Bushfire Prone Area Report, this property is in a designated bushfire prone area. **Special Bushfire construction requirements apply.**

BAL-12.5

DRAWING LIST						
Sheet Number	Issue	Sheet Name	Sheet Issue Date	Drawn By	Current Revision	Current Revision Date
A101	TP	LOCALITY PLAN	19.03.2025	HD	F	19.03.25
A201	TP	EXISTING SITE PLAN	19.03.2025	HD	F	19.03.25
A202	TP	EXISTING FEATURE SURVEYS	19.03.2025	HD	F	19.03.25
A203	TP	PROPOSED SITE PLAN	19.03.2025	HD	F	19.03.25
A204	TP	PROPOSED ENLARGED SITE PLAN	19.03.2025	HD	F	19.03.25
A205	TP	PROPOSED SITE CONTEXT PLAN	19.03.2025	HD	F	19.03.25
A206	TP	PROPOSED STREETSCAPES - STREET	19.03.2025	HD	F	19.03.25
A207	TP	PROPOSED STREETSCAPES - DRIVEWAY	19.03.2025	HD	F	19.03.25
A208	TP	RESCODE - SITE COVERAGE	19.03.2025	HD	F	19.03.25
A209	TP	RESCODE - PERMEABILITY	19.03.2025	HD	F	19.03.25
A210	TP	RESCODE - GARDEN AREA	19.03.2025	HD	F	19.03.25
A303	TP	PROPOSED CUT & FILL PLAN	19.03.2025	HD	F	19.03.25
A403	TP	PR.UNIT 01 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A404	TP	PR.UNIT 01 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A503	TP	PR.UNIT 02 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A504	TP	PR.UNIT 02 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A603	TP	PR.UNIT 03 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A604	TP	PR.UNIT 03 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A703	TP	PR.UNIT 04 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A704	TP	PR.UNIT 04 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A803	TP	PR.UNIT 05 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A804	TP	PR.UNIT 05 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A903	TP	PR.UNIT 06 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A904	TP	PR.UNIT 06 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A1003	TP	PR.UNIT 07 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A1004	TP	PR.UNIT 07 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A1103	TP	PR.UNIT 08 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A1104	TP	PR.UNIT 08 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A1203	TP	PR.UNIT 09 - FLOOR PLAN	19.03.2025	HD	F	19.03.25
A1204	TP	PR.UNIT 09 - ELEVATIONS	19.03.2025	HD	F	19.03.25
A1304	TP	PROPOSED SHADOW DIAGRAM - 9am	19.03.2025	HD	F	19.03.25
A1305	TP	PROPOSED SHADOW DIAGRAM - 12pm	19.03.2025	HD	F	19.03.25
A1306	TP	PROPOSED SHADOW DIAGRAM - 3pm	19.03.2025	HD	F	19.03.25
A1307	TP	PROPOSED LANDSCAPING PLAN	19.03.2025	HD	F	19.03.25
A1308	TP	PROPOSED LANDSCAPING SPECS.	19.03.2025	HD	F	19.03.25
A1309	TP	PROPOSED CAR PARKING PLAN	19.03.2025	HD	F	19.03.25
A1310	TP	PR.WASTE MANAGEMENT PLAN	19.03.2025	HD	F	19.03.25
A1314	TP	COLIBAN EASEMENT RFI's	19.03.2025	HD	F	19.03.25
A1401	TP	BAL ASSESSMENT	19.03.2025	HD	F	19.03.25
A1402	TP	BAL REPORT	19.03.2025	HD	F	19.03.25
A1403	TP	BAL REPORT CONT.	19.03.2025	HD	F	19.03.25
A1404	TP	BAL NOTES	19.03.2025	HD	F	19.03.25



DMC Drafting & Design Pty Ltd
A.B.N: 33 662 688 119
DP-AD 19324
PHONE: (03) 5443 5328
EMAIL: info@dmcdrafting.com

PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

ADDRESS: 211 ANZAC AVENUE,
SEYMOUR 3660

CLIENT: DANIEL & NATASHA DUNA

REF: DMC714 - 10-22

DATE: 19.03.2025



[1]



[2]



[3]

PROPOSED SITE

211 ANZAC AVENUE, SEYMOUR 3660

[1] ENLARGED LOCATION PLAN
SCALE: N.T.S

[2] LOCATION PLAN
SCALE: N.T.S

[3] STREET VIEW OF EXISTING SITE
SCALE: N.T.S

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REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REV TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

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PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

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PROJECT NUMBER: DMC714 - 10-22

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ISSUE NUMBER: TP

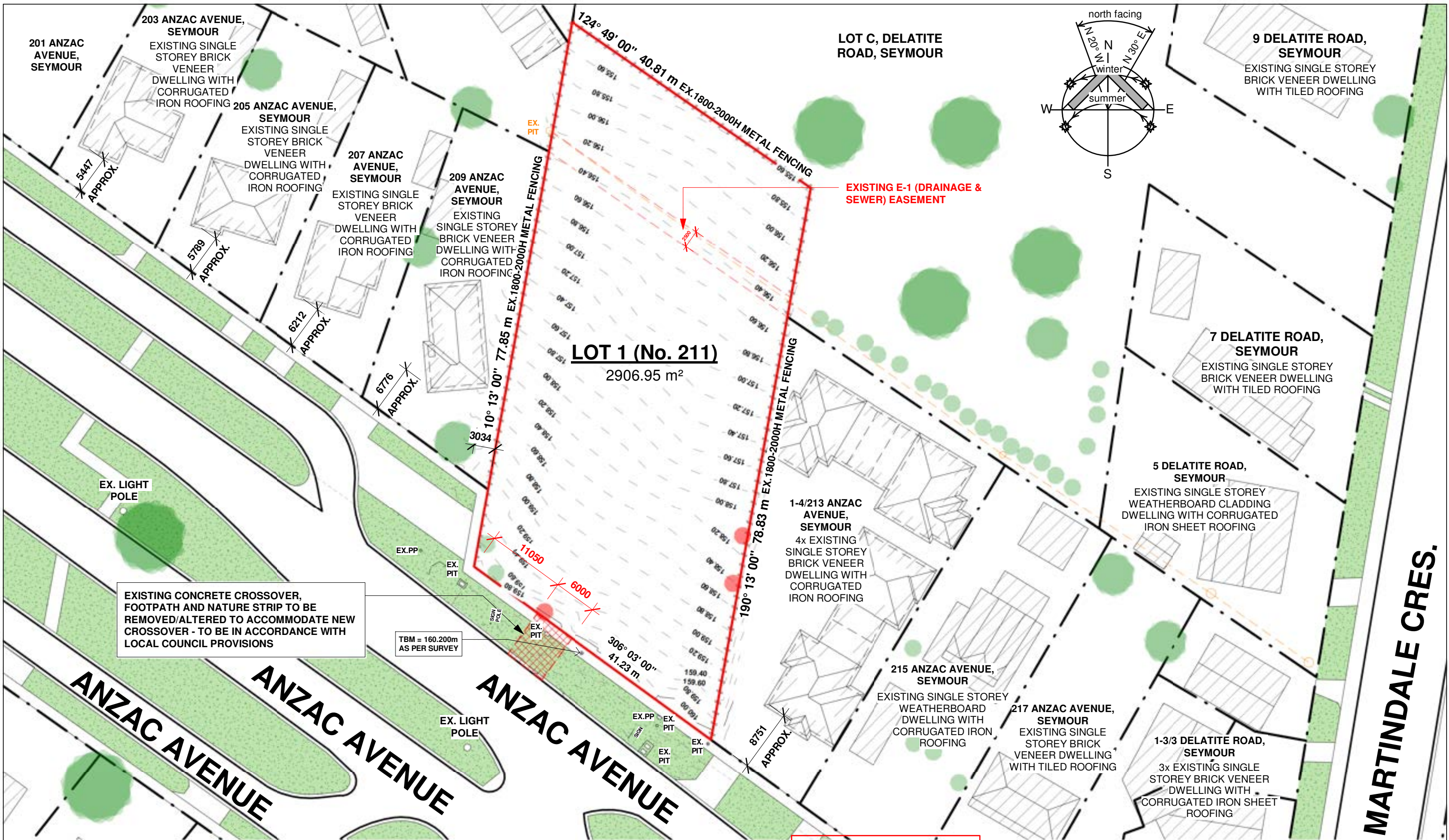
DRAWN BY: HD

APPROVED BY: DMC

TOWN PLANNING
DRAWING SET
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SHEET NAME: LOCALITY PLAN

SCALE: DRAWING NO: A101



1

EXISTING SITE PLAN

1 : 500

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DRAWING SET**
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PLAN OF SUBDIVISION - LP137186

ALL EXISTING DIMENSIONS
TO BE CONFIRMED ON SITE

CHECK & VERIFY ALL DIMENSIONS,
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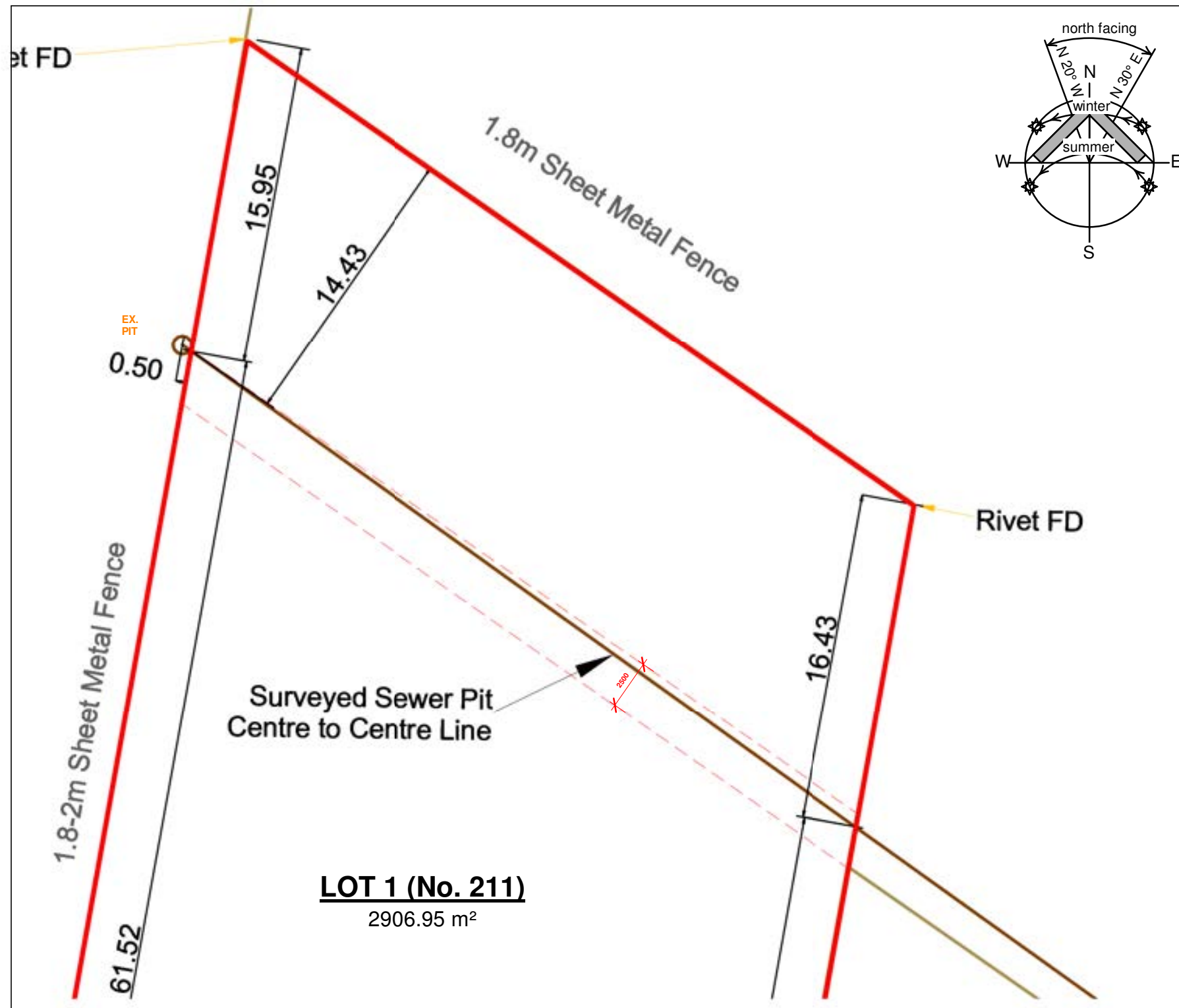
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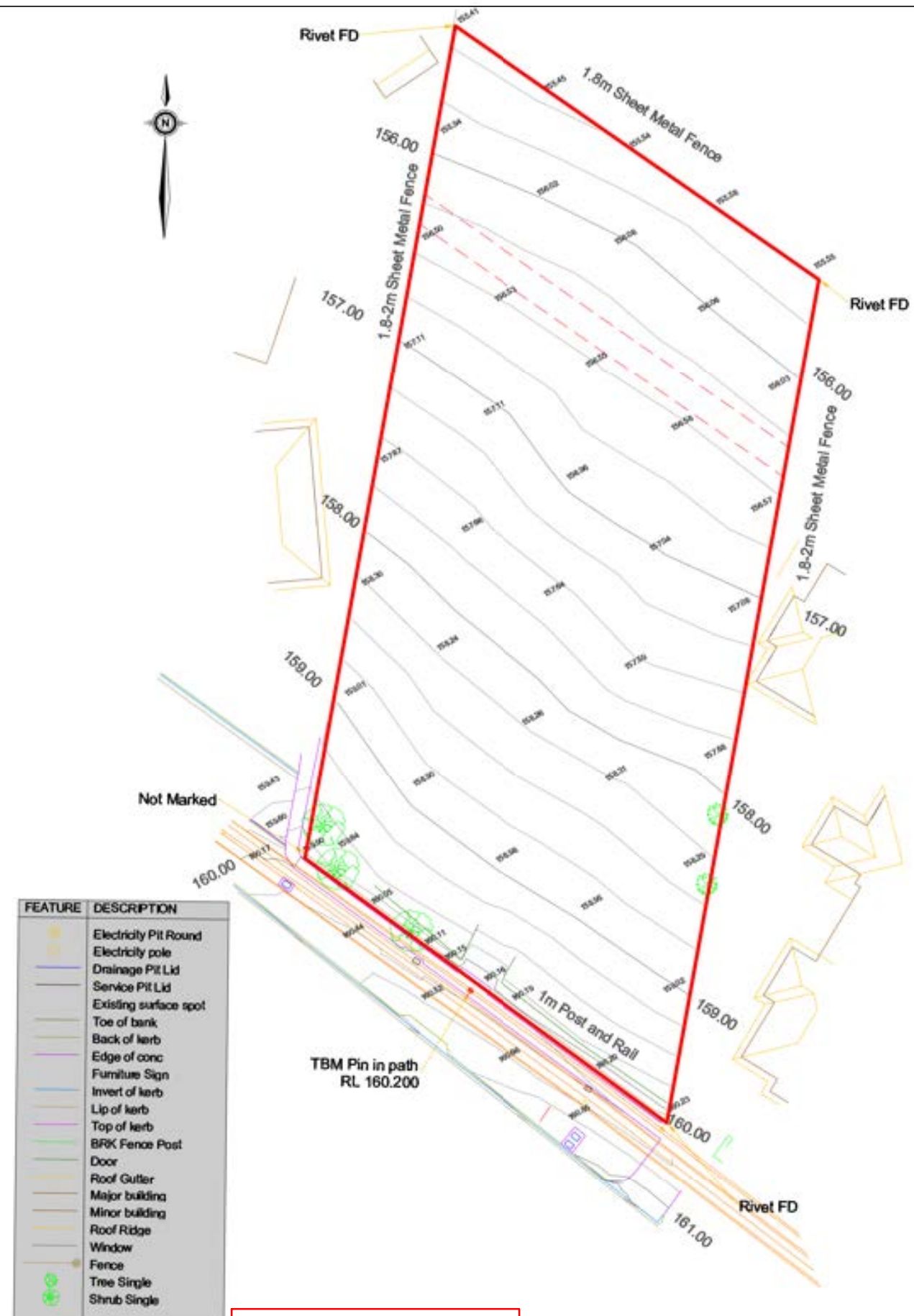
PROJECT CLIENT: DANIEL & NATASHA DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025
	ISSUE NUMBER:	TP
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SHEET NAME: EXISTING SITE PLAN	
SCALE: 1 : 500	DRAWING NO: A201



2 EXISTING SEWER SURVEY
1 : 250



1 EXISTING SITE SURVEY PLAN
1 : 500

FEATURE	DESCRIPTION
Electricity Pit Round	
Electricity pole	
Drainage Pit Lid	
Service Pit Lid	
Existing surface spot	
Toe of bank	
Back of kerb	
Edge of conc	
Furniture Sign	
Invert of kerb	
Lip of kerb	
Top of kerb	
BRK Fence Post	
Door	
Roof Gutter	
Major building	
Minor building	
Roof Ridge	
Window	
Fence	
Tree Single	
Shrub Single	

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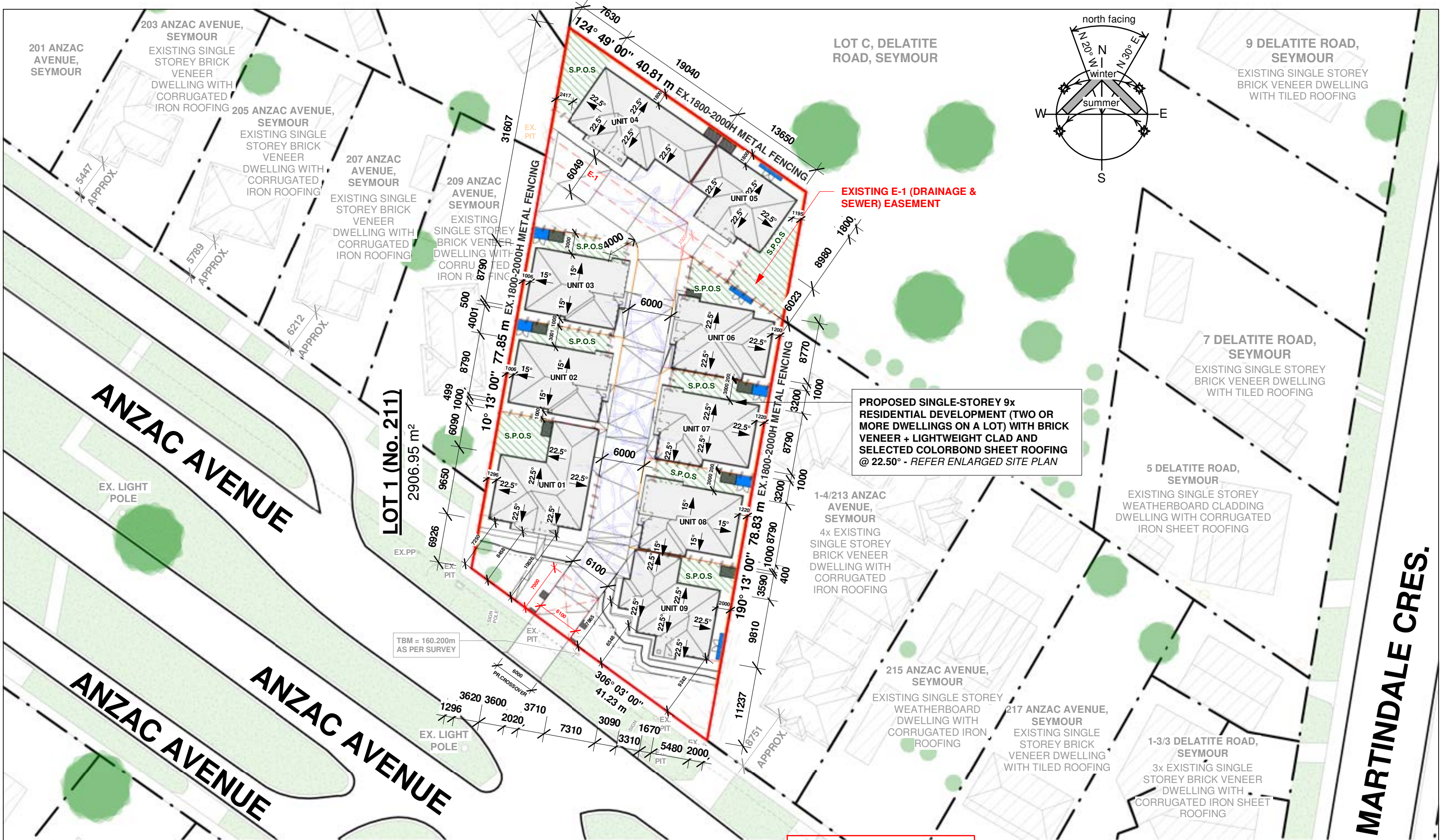
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PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: EXISTING FEATURE SURVEYS
	ISSUE NUMBER:	TP	
	DRAWN BY:	HD	
	APPROVED BY:	DMC	
SCALE:		As indicated	DRAWING NO: A202



1 PROPOSED SITE PLAN
1 : 500

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PLAN OF SUBDIVISION - LP137186

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PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025
	ISSUE NUMBER:	TP
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	APPROVED BY:	DMC

SHEET NAME: PROPOSED SITE PLAN	
SCALE:	1 : 500
DRAWING NO:	A203



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PROJECT CLIENT: DANIEL & NATASHA DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PR. RESIDENTIAL DEVELOPMENT (9x
DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

SITE PLAN NOTES

All site dimensions are in millimetres unless specified otherwise.
Check and verify all dimensions, levels & conditions on site before costing, ordering or prefabricating any components from this drawing.

Refer to plan of subdivision for verification of all bearings, distances and easements.

Installation of all services including all stormwater, wastewater and sewer details shall comply with the respective supply authority requirements.

Ensure the F.S.L around the perimeter of the dwelling slopes away from the dwelling a minimum 50mm over a distance of 1m.

STORMWATER NOTES:

- Stormwater to discharge to legal point of discharge as per local council requirements.
- The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footings and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system
- All pipes shall be of 90mm UPVC material when roof area is <250m² and 100mm UPVC when roof area is >250m² @ no less than 1:100 fall.
- Pipes should be laid with even fall & to the legal point of discharge as directed by the relevant authority.
- Provide all bends, junctions etc as necessary inspection opening shall be provided at major direction changes and 9.0m (max) ctrs.
- Pipes shall be laid no closer than 600mm from building line.
- Provide agricultural drains to all site cuts or batters exceeding 600mm in height, ag drains to be connected to approved stormwater system via silt pit.

Stormwater drains shall be not less than;
NOT SUBJECT TO VEHICULAR MOVEMENT:
- 100mm under soil where there is no paving
- 50mm* under paved or un-reinforced concrete areas

SUBJECT TO VEHICULAR MOVEMENT:
- 450mm under soil where there is no paving
- 75mm* under paved or un-reinforced concrete areas (light vehicle loading only - for heavy vehicle loading refer to AS3500.3 - Table 7.1

* From underside of pavement

SERVICES NOTES:

- Different parallel services that are in close proximity may be laid in a common benched trench or easement subject to approval of relevant authorities.
- Back fill of all service trenches in garden and grass areas shall be approved fill of maximum particle size 75mm from the service bedding material to the underside of the topsoil.

EXCAVATION NOTES:

- The external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m.
- Excavations must be 600mm clear from boundary. If this can not be achieved a protection works notice may be required if relevant building surveyor determines it is required.
- Verify power, telstra and water main positions prior to any excavations.



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PR.ENLARGED SITE PLAN

1 : 300

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PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

TOWN PLANNING
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PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

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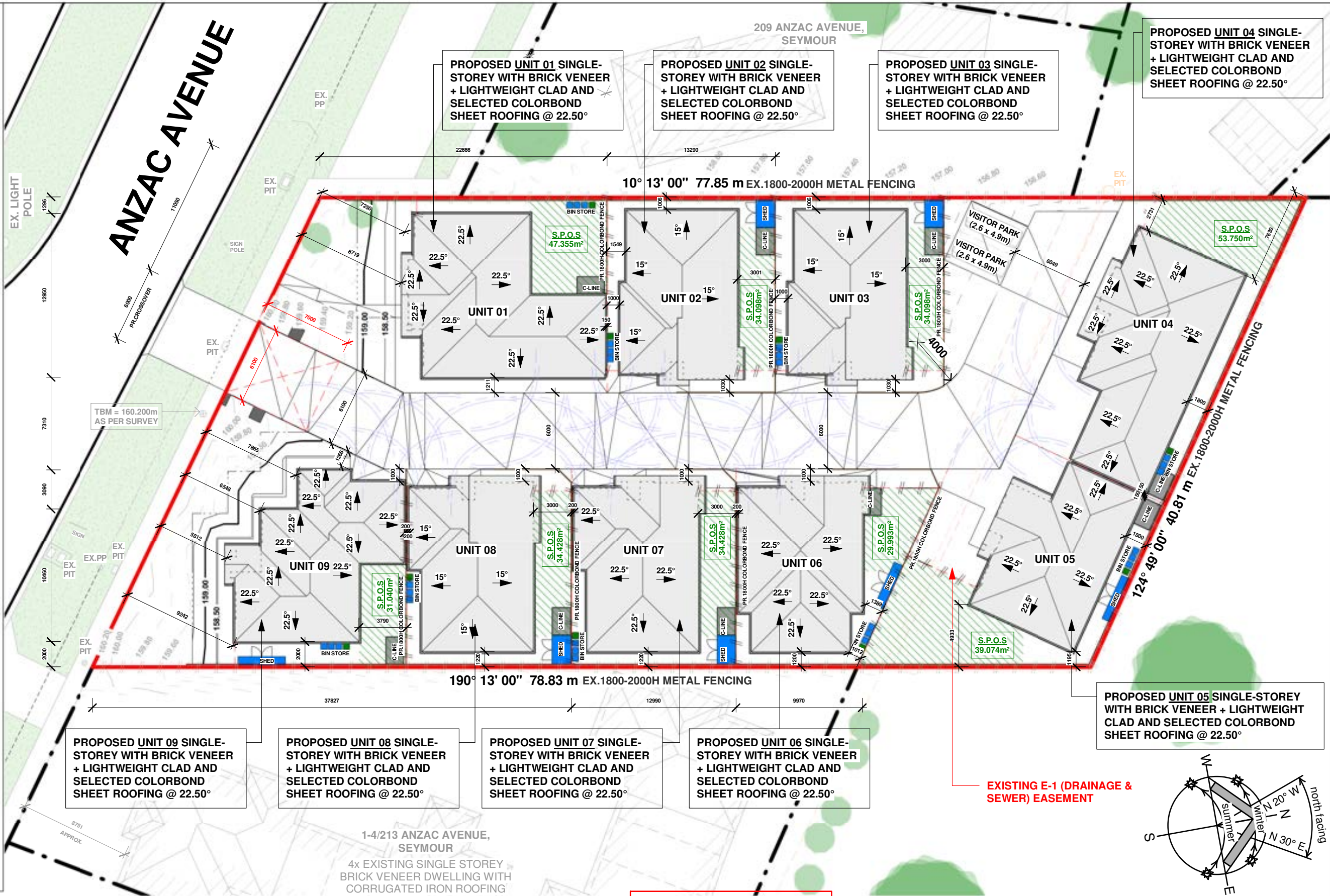
PLAN OF SUBDIVISION - LP137186

ALL EXISTING DIMENSIONS
TO BE CONFIRMED ON SITE

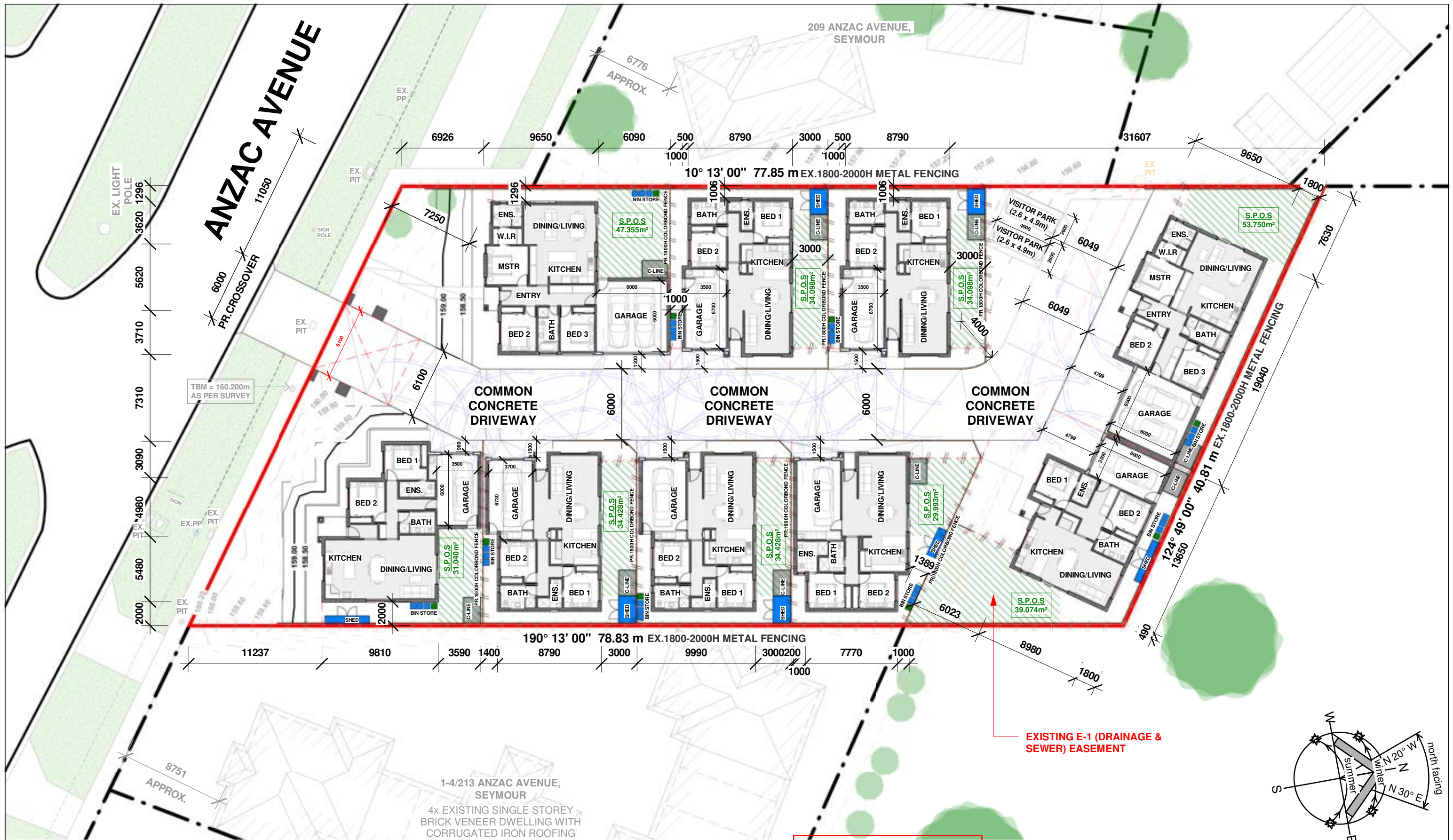
SHEET NAME:

PROPOSED ENLARGED
SITE PLAN

SCALE: As indicated DRAWING NO: A204

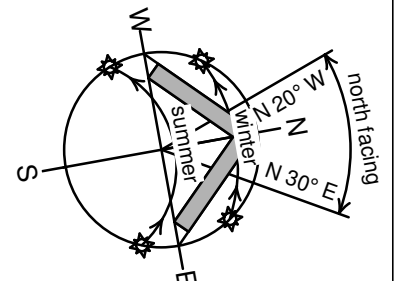


BAL-12.5



1 PROPOSED SITE CONTEXT PLAN
1 : 300

**TOWN PLANNING
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BAL-12.5

PLAN OF SUBDIVISION - LP137186
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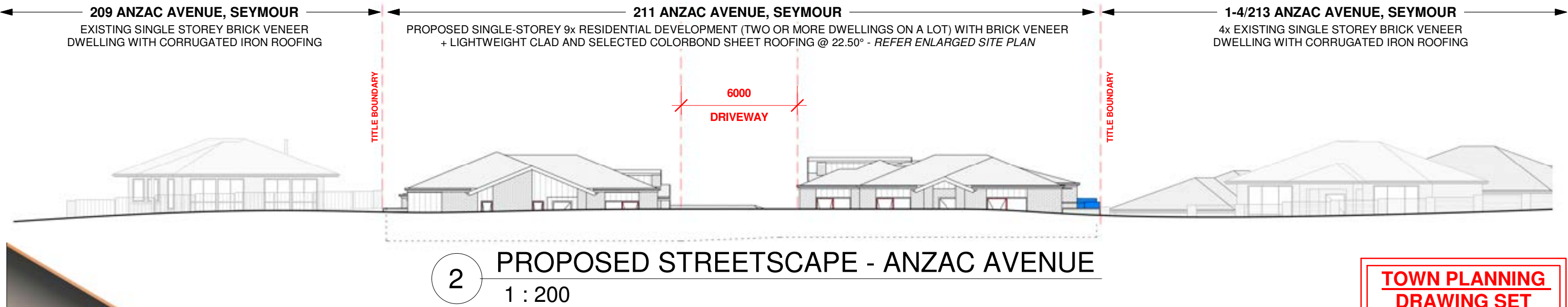
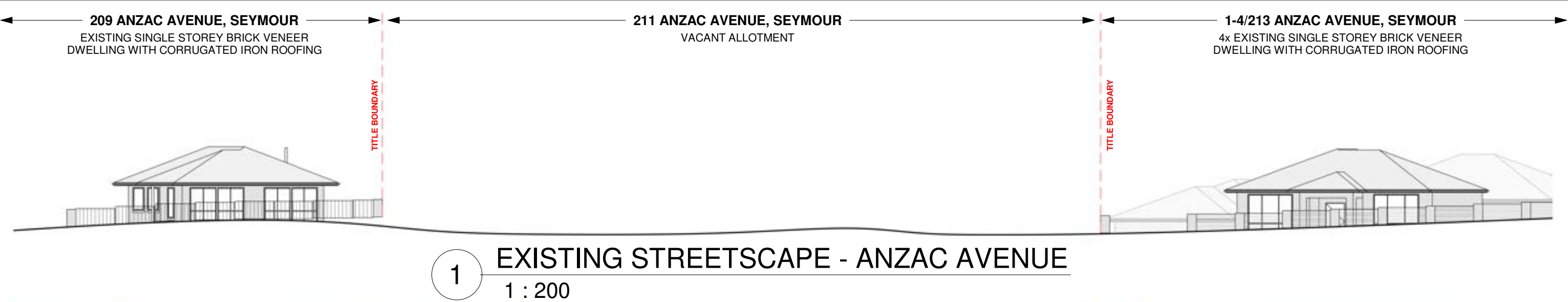
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E	02.02.24	HD	REV TP ISSUE
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ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PR. RESIDENTIAL DEVELOPMENT (9x
DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

PROJECT NUMBER:
DMC714 - 10-22

DATE: 19.03.2025
ISSUE NUMBER: TP
DRAWN BY: HD
APPROVED BY: DMC
SHEET NAME:
PROPOSED SITE CONTEXT
PLAN
SCALE: 1 : 300
DRAWING NO: A205



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ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

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DMC714 - 10-22

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SHEET NAME:

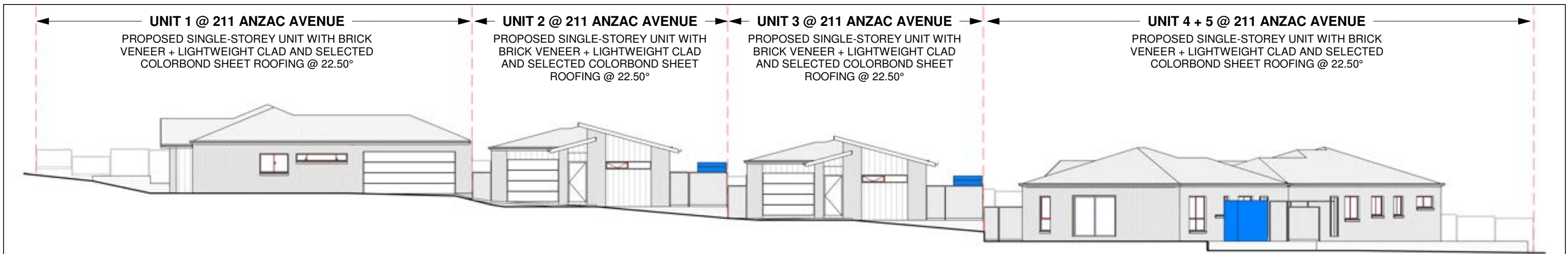
PROPOSED
STREETSCAPES - STREET

SCALE: 1 : 200

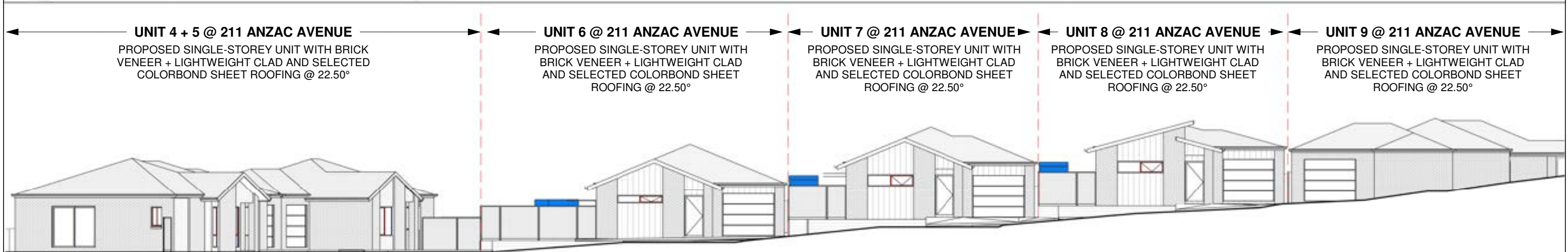
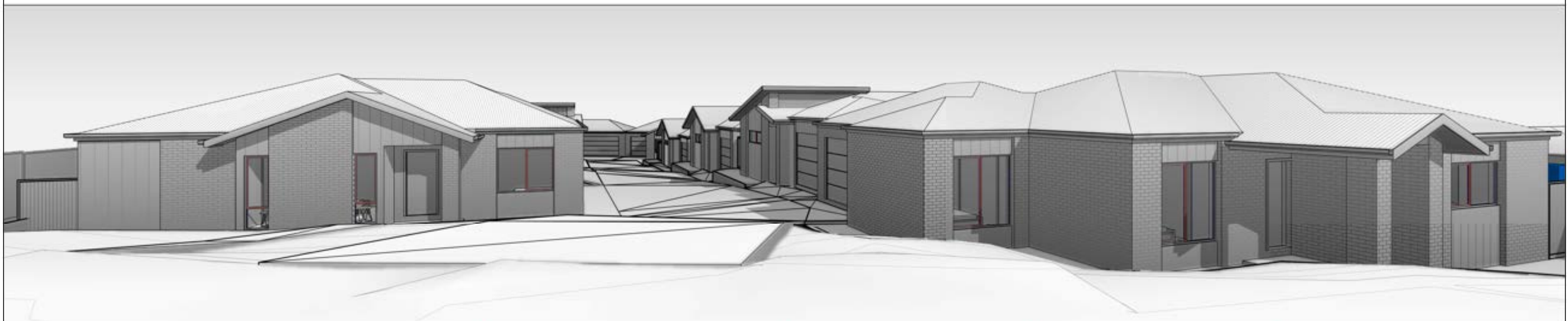
DRAWING NO: A206

TOWN PLANNING
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1 PROPOSED COMMON PROPERTY STREETSCAPE - WEST ELEVATION
1 : 200



2 PROPOSED COMMON PROPERTY STREETSCAPE - EAST ELEVATION
1 : 200



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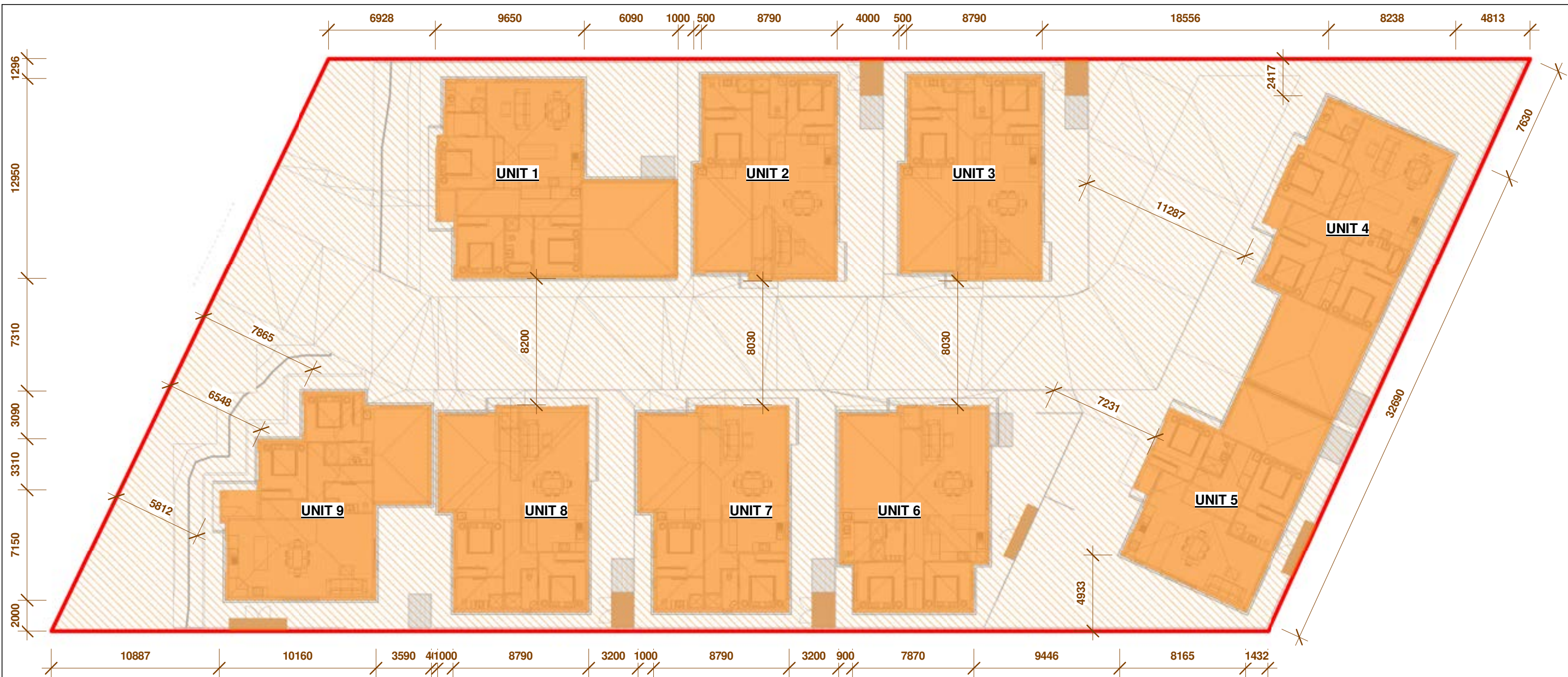
PROJECT NUMBER:
DMC714 - 10-22

DATE:	19.03.2025
ISSUE NUMBER:	TP
DRAWN BY:	HD
APPROVED BY:	DMC

SHEET NAME:
PROPOSED
STREETSCAPES -
DRIVEWAY

DRAWING NO: A207

**TOWN PLANNING
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1 RESCODE - SITE COVERAGE
1 : 250

SITE COVERAGE CALCULATIONS	
ALLOTMENT AREA (OVERALL):	2906.954m ²
COMBINED 9x DWELLING AREA:	1199.559m ²
TOTAL SITE COVERAGE PERCENTAGE %:	41.265%

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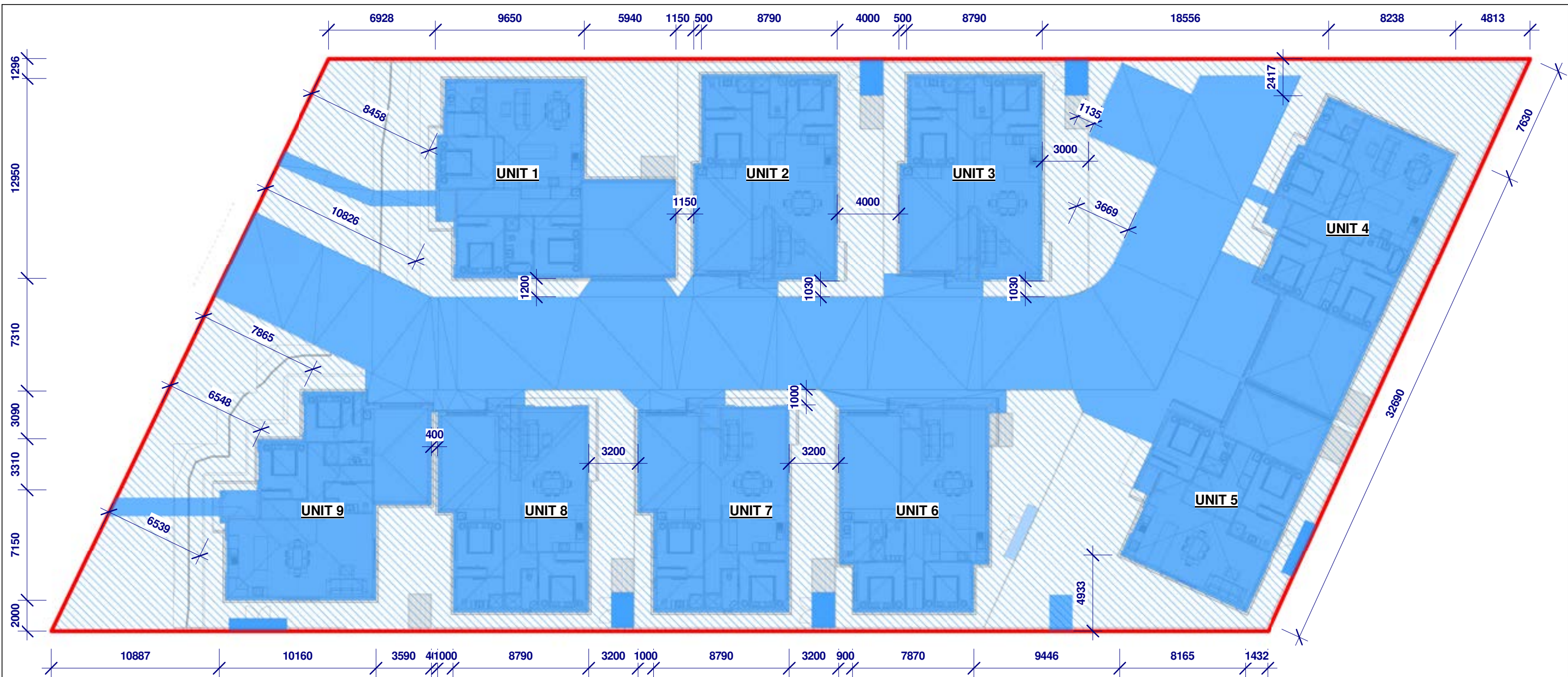
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PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: RESCODE - SITE COVERAGE	
	ISSUE NUMBER:	TP		
	DRAWN BY:	HD		
	APPROVED BY:	DMC	SCALE: 1 : 250	DRAWING NO: A208



1 RESCODE - PERMEABILITY
1 : 250

PERMEABILITY CALCULATIONS	
ALLOTMENT AREA (OVERALL):	2906.954m ²
COMBINED 9x DWELLING AREA:	1219.310m ²
COMMON DRIVEWAY CONCRETE AREA:	621.952m ²
TOTAL PERMEABILITY AREA:	1064.918m ²
TOTAL PERMEABILITY PERCENTAGE %:	36.633%

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	ISSUE NUMBER:	TP
	DRAWN BY:	HD
	APPROVED BY:	DMC

SHEET NAME: RESCODE - PERMEABILITY	
SCALE: 1 : 250	DRAWING NO: A209



TOTAL EXCLUDED AREA BELOW 1m WIDE = 5.314m²

1 RESCODE - GARDEN AREA
1 : 250

GARDEN AREA CALCULATIONS	
ALLOTMENT AREA (OVERALL):	2906.954m ²
COMBINED 9x DWELLING AREA:	1183.864m ²
COMMON DRIVEWAY CONCRETE AREA:	616.342m ²
TOTAL GARDEN AREA:	1103.841m ²
TOTAL GARDEN AREA PERCENTAGE %:	37.972%

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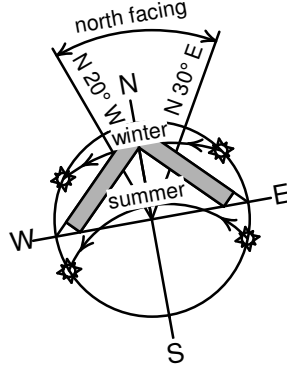
PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME:	
	ISSUE NUMBER:	TP	RESCODE - GARDEN AREA	
	DRAWN BY:	HD		
	APPROVED BY:	DMC		
		SCALE:	1 : 250	DRAWING NO: A210

LEGEND:

- 820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHCB - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	2.61 m²	0.28
DWELLING	114.64 m²	12.34
GARAGE	40.66 m²	4.38
TOTAL:	157.91 m²	17.00



CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

This excludes: Bathroom, laundry, water-closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom and clothes-drying room.

*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.

PR.UNIT 01 - FLOOR PLAN

1 : 100



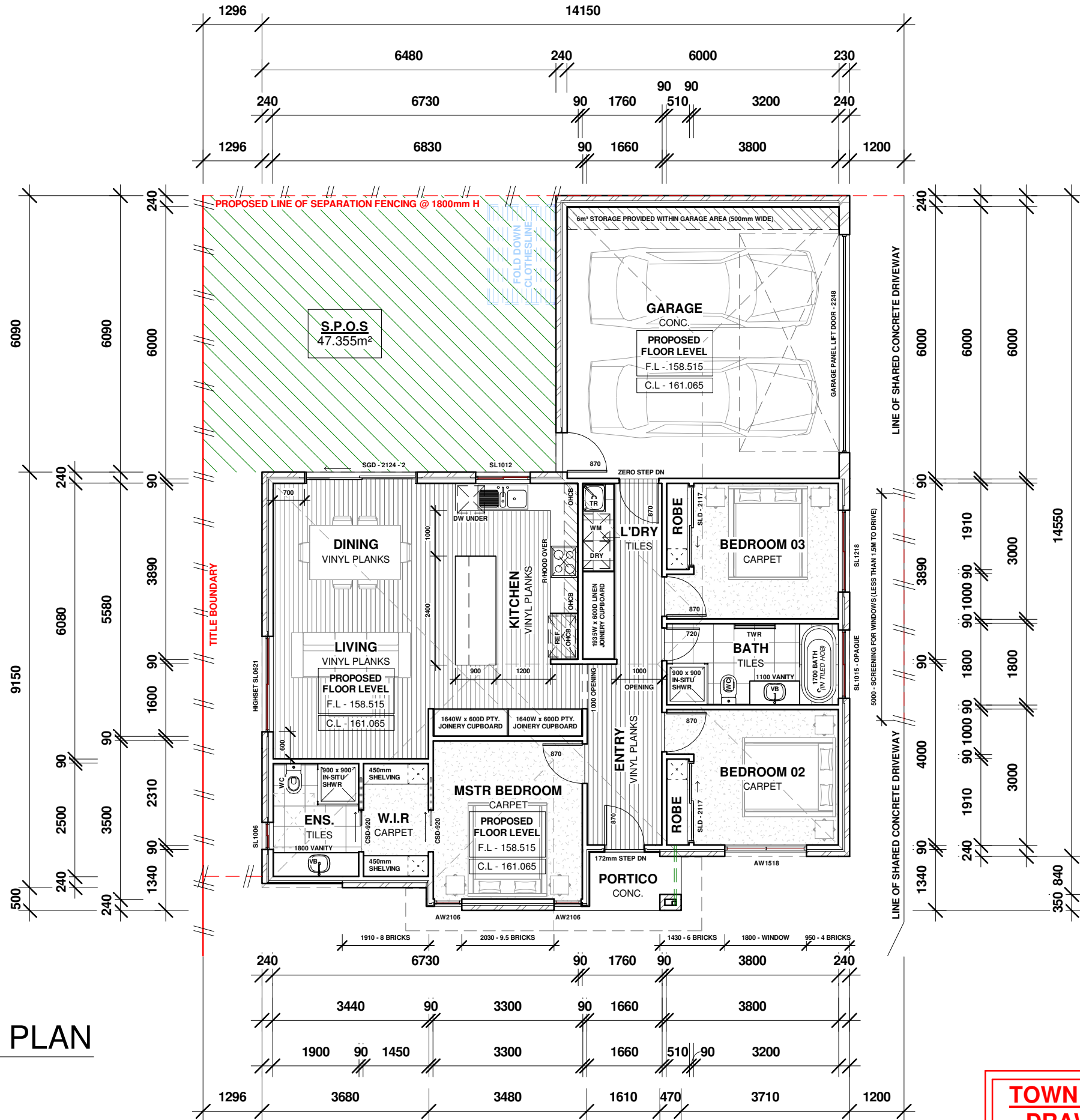
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REVISIONS				
Rev. #	Date	Drawn	Description	
E	02.02.24	HD	REVISED TP ISSUE	
F	19.03.25	CML	REVISED TP ISSUE	

PROJECT CLIENT: NATASHA & DANIEL DUNA	
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660	
PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)	

PROJECT NUMBER: DMC714 - 10-22	DATE: 19.03.2025
	ISSUE NUMBER: TP
	DRAWN BY: CML
	APPROVED BY: DMC

SHEET NAME: PR.UNIT 01 - FLOOR PLAN	
SCALE: 1 : 100	DRAWING NO: A403



BAL-12.5

TOWN PLANNING DRAWING SET NOT FOR CONSTRUCTION

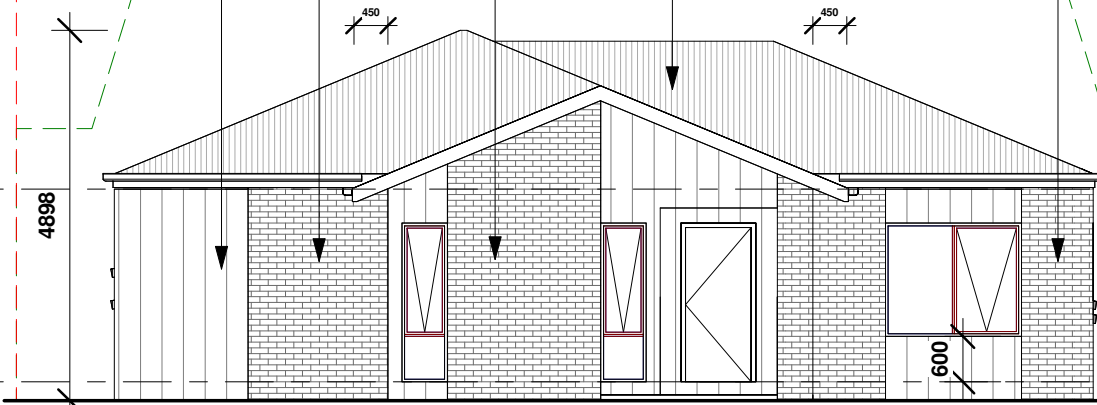
SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

PR.U1 - F.C.L
161065

PR.U1 - F.F.L
158515



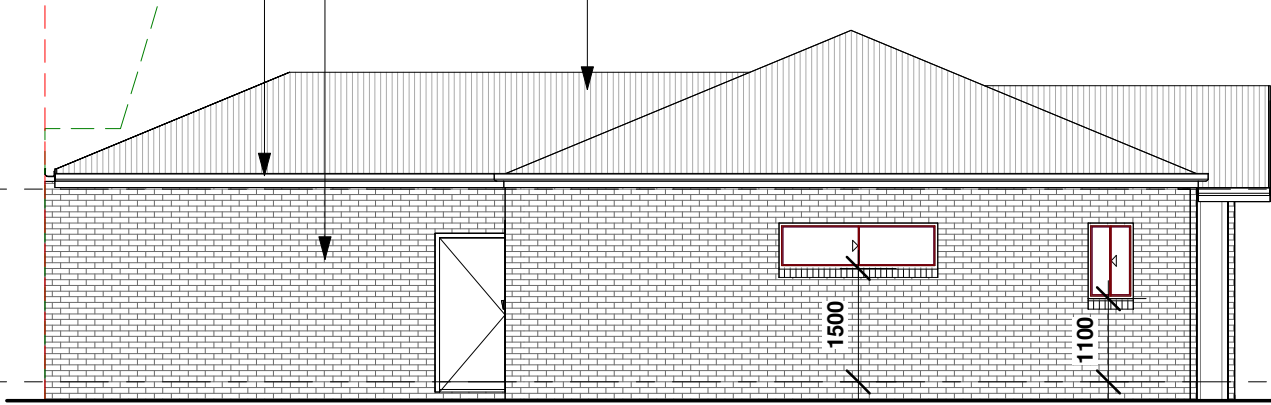
1 PR.UNIT 01 - SOUTH ELEVATION
1 : 100

SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

SELECTED COLORBOND FASCIA AND GUTTER

PR.F.C.L
2550

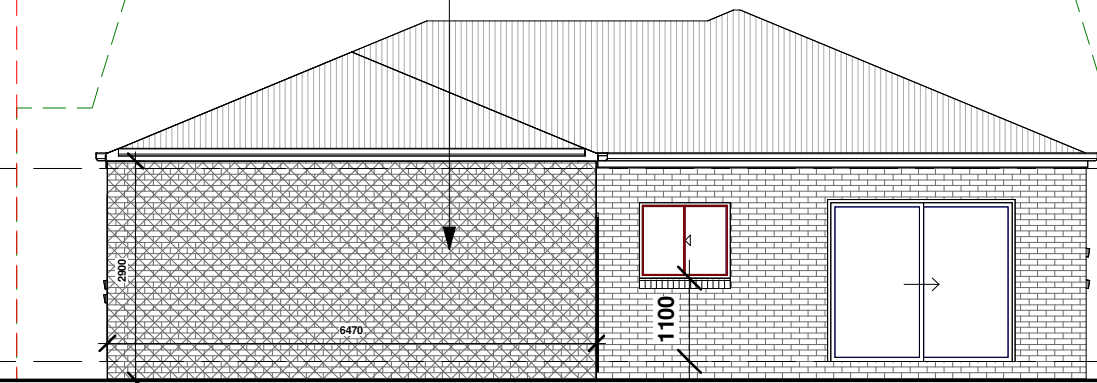


2 PR.UNIT 01 - WEST ELEVATION
1 : 100

BRICK VENEER WALL ON FENCELINE - NO
OPENINGS AS PER PART 3.7.2 OF THE NCC 2019

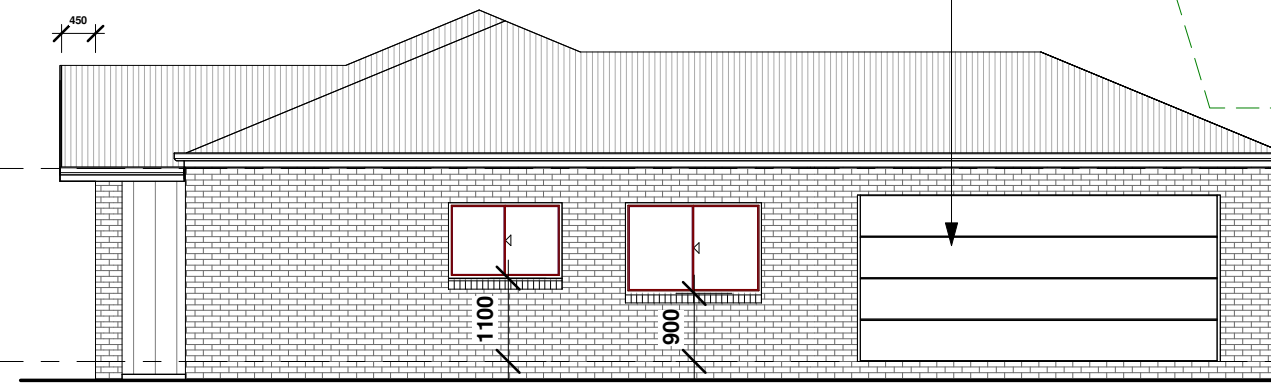
PR.U1 - F.C.L
161065

PR.U1 - F.F.L
158515



3 PR.UNIT 01 - NORTH ELEVATION
1 : 100

SELECTED COLORBOND PANEL LIFT GARAGE DOOR -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS



4 PR.UNIT 01 - EAST ELEVATION
1 : 100



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REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS
- TWO OR MORE DWELLINGS ON A LOT)

BAL-12.5
PROJECT NUMBER: DMC714 - 10-22
DATE: 19.03.2025
ISSUE NUMBER: TP
DRAWN BY: CML
APPROVED BY: DMC

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

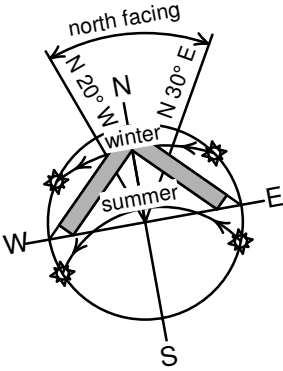
SHEET NAME:
PR.UNIT 01 - ELEVATIONS
SCALE: 1 : 100
DRAWING NO: A404

LEGEND:

820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHCB - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	1.41 m ²	0.15
DWELLING	91.73 m ²	9.87
GARAGE	26.90 m ²	2.90
TOTAL:	120.04 m ²	12.92



CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

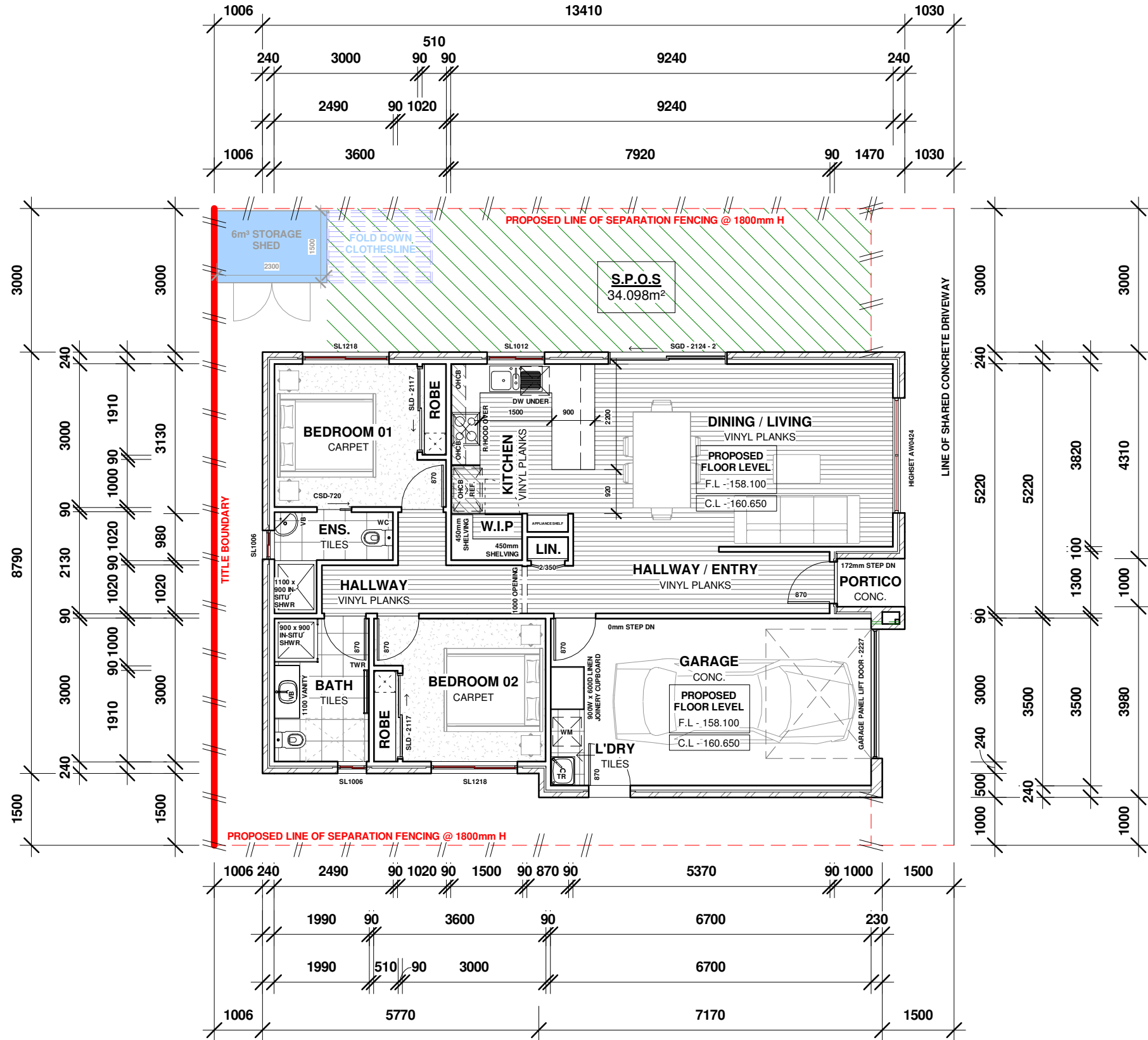
NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

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*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.



1

PR.UNIT 02 - FLOOR PLAN

1 : 100

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Drafting & Design

Ph: 03 5443 5328

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ABN: 33 662 688 119

REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

SHEET NAME:

PR.UNIT 02 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A503

SELECTED COLORBOND SHEET ROOFING @ 15° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

SELECTED COLORBOND
PANEL LIFT GARAGE DOOR -
INSTALLED AS PER
MANUFACTURERS
SPECIFICATIONS

SELECTED COLORBOND SHEET ROOFING @ 15° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

SELECTED COLORBOND FASCIA AND GUTTER

PR.U2 - F.C.L
160650

PR.U2 - F.F.L
158100

1

PR.UNIT 02 - EAST ELEVATION
1 : 100

2

PR.UNIT 02 - SOUTH ELEVATION
1 : 100

PR.U2 - F.C.L
160650

PR.U2 - F.F.L
158100

3

PR.UNIT 02 - WEST ELEVATION
1 : 100

4

PR.UNIT 02 - NORTH ELEVATION
1 : 100

DMC

Drafting & Design

Unit 7/4 Schoder Street, Strathdale

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REVISIONS				
Rev. #	Date	Drawn	Description	
E	02.02.24	HD	REVISED TP ISSUE	
F	19.03.25	CML	REVISED TP ISSUE	

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

PROJECT NUMBER: DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

TOWN PLANNING
DRAWING SET
NOT FOR CONSTRUCTION

BAL-12.5

SHEET NAME:
PR.UNIT 02 - ELEVATIONS

SCALE: 1 : 100

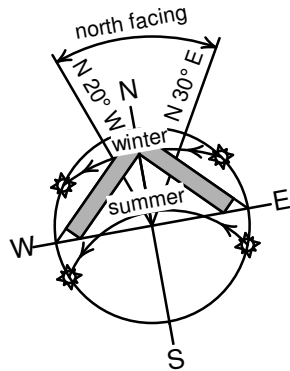
DRAWING NO: A504

LEGEND:

820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHC - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	1.41 m ²	0.15
DWELLING	91.73 m ²	9.87
GARAGE	26.90 m ²	2.90
TOTAL:	120.04 m ²	12.92



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NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

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1 PR.UNIT 03 - FLOOR PLAN
1 : 100



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ABN: 33 662 688 119

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REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

SHEET NAME:

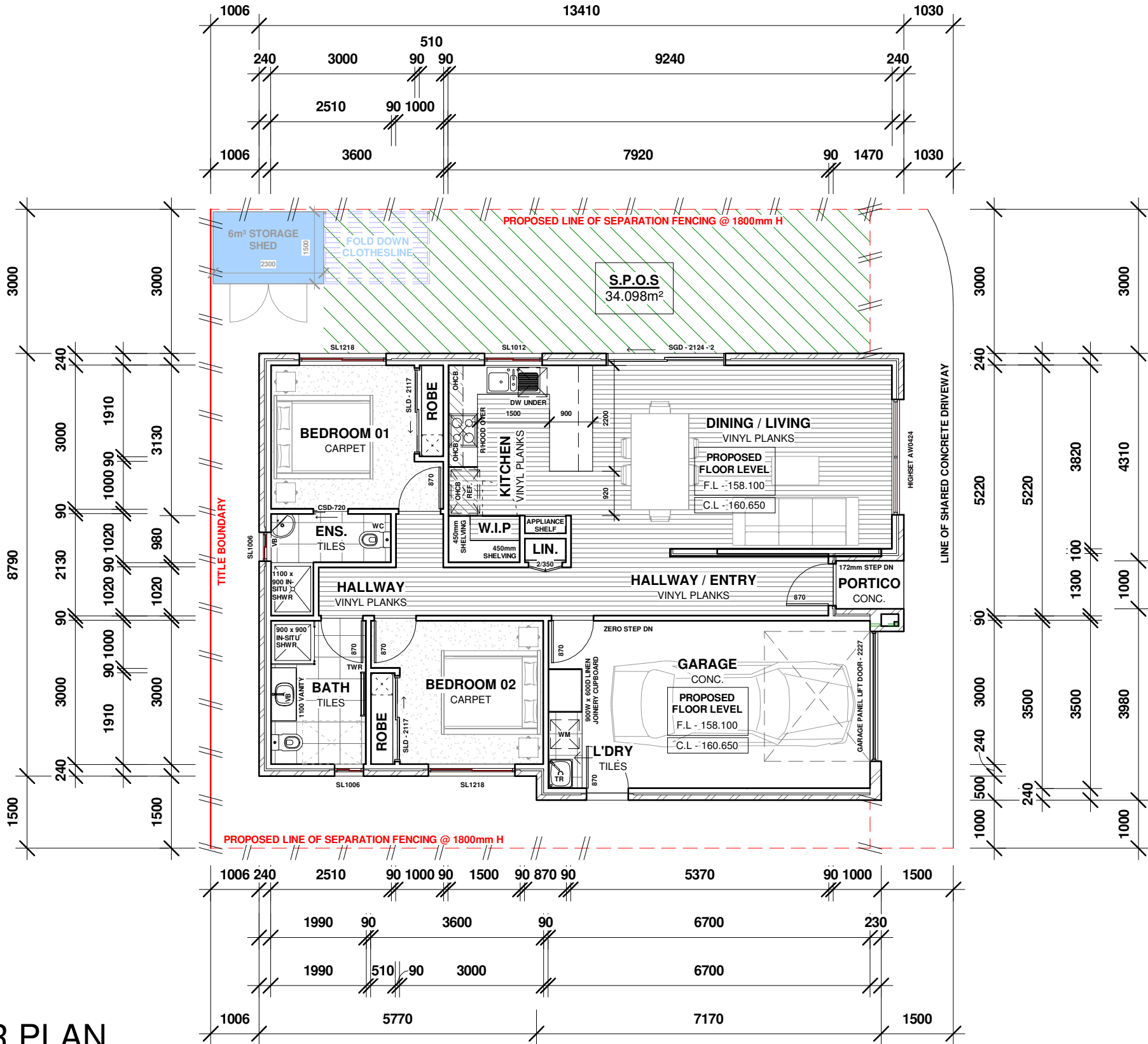
PR.UNIT 03 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A603

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION



SELECTED COLORBOND SHEET ROOFING @ 15° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

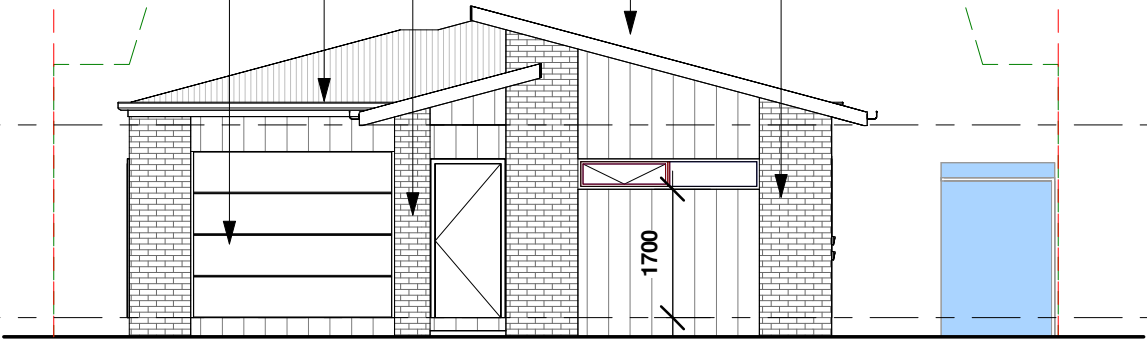
SELECTED BRICKWORK FACE

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

SELECTED COLORBOND
PANEL LIFT GARAGE DOOR -
INSTALLED AS PER
MANUFACTURERS
SPECIFICATIONS

PR.U3 - F.C.L
159950

PR.U3 - F.F.L
157400

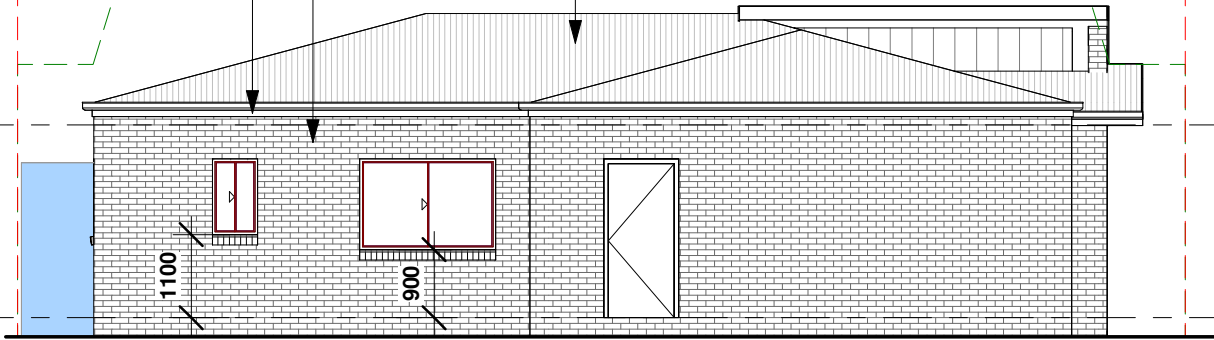


1 PR.UNIT 03 - EAST ELEVATION
1 : 100

SELECTED COLORBOND SHEET ROOFING @ 15° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

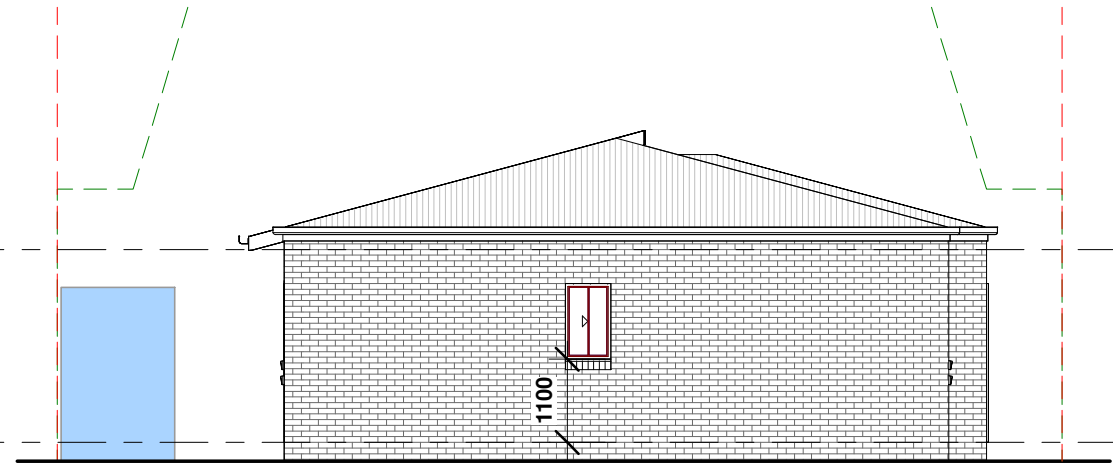
SELECTED COLORBOND FASCIA AND GUTTER



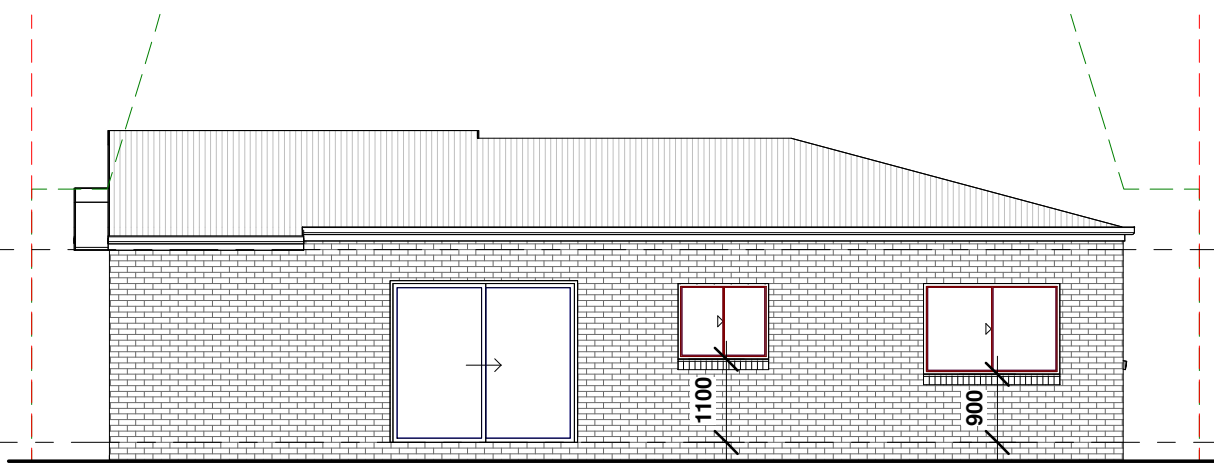
2 PR.UNIT 03 - SOUTH ELEVATION
1 : 100

PR.U3 - F.C.L
159950

PR.U3 - F.F.L
157400



3 PR.UNIT 03 - WEST ELEVATION
1 : 100



4 PR.UNIT 03 - NORTH ELEVATION
1 : 100



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REVISIONS				
Rev. #	Date	Drawn	Description	
E	02.02.24	HD	REVISED TP ISSUE	
F	19.03.25	CML	REVISED TP ISSUE	

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

SHEET NAME:

PR.UNIT 03 - ELEVATIONS

SCALE: 1 : 100

DRAWING NO: A604

- LEGEND:**
- 820 - Door width (Nom.)
 - 1012 - Window size H x W (Nom.)
 - C.H - Ceiling Height
 - C.O.S - Confirm on site
 - CSD - Cavity Sliding Door
 - DP - Downpipe
 - DS - Double Stud
 - DW - Dishwasher
 - EF - Exhaust Fan
 - EX. - Existing
 - F - Fixed
 - F.F.L - Finished Floor Level
 - FW - Floor Waste
 - (H) - Lift off hinges to WC
 - HR - Handrail
 - HWS - Hot Water Service
 - LBW - Load-bearing Wall
 - MV - Microwave
 - N.G.L - Natural Ground Line
 - O - Openable
 - OHCB - Overhead Cupboards
 - PDP - Proposed Downpipe
 - REF - Refrigerator
 - R/H - Rangehood
 - R.L - Arbitrary raised level
 - RWH - Rainwater Head
 - SD - Smoke Detector
 - SGD - Sliding Glass Door
 - SHWR - Shower
 - SSS - Stainless Steel Sink
 - T - Trough
 - TR - Towel Rail
 - V - Vent
 - VB - Vanity Basin
 - WC - Water Closet
 - WIR - Walk in Robe
 - WM - Washing Machine
 - WN - Wall Niche
 - WO - Wall Oven
 - WP - Water Point
 - WT - Water Tap

CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

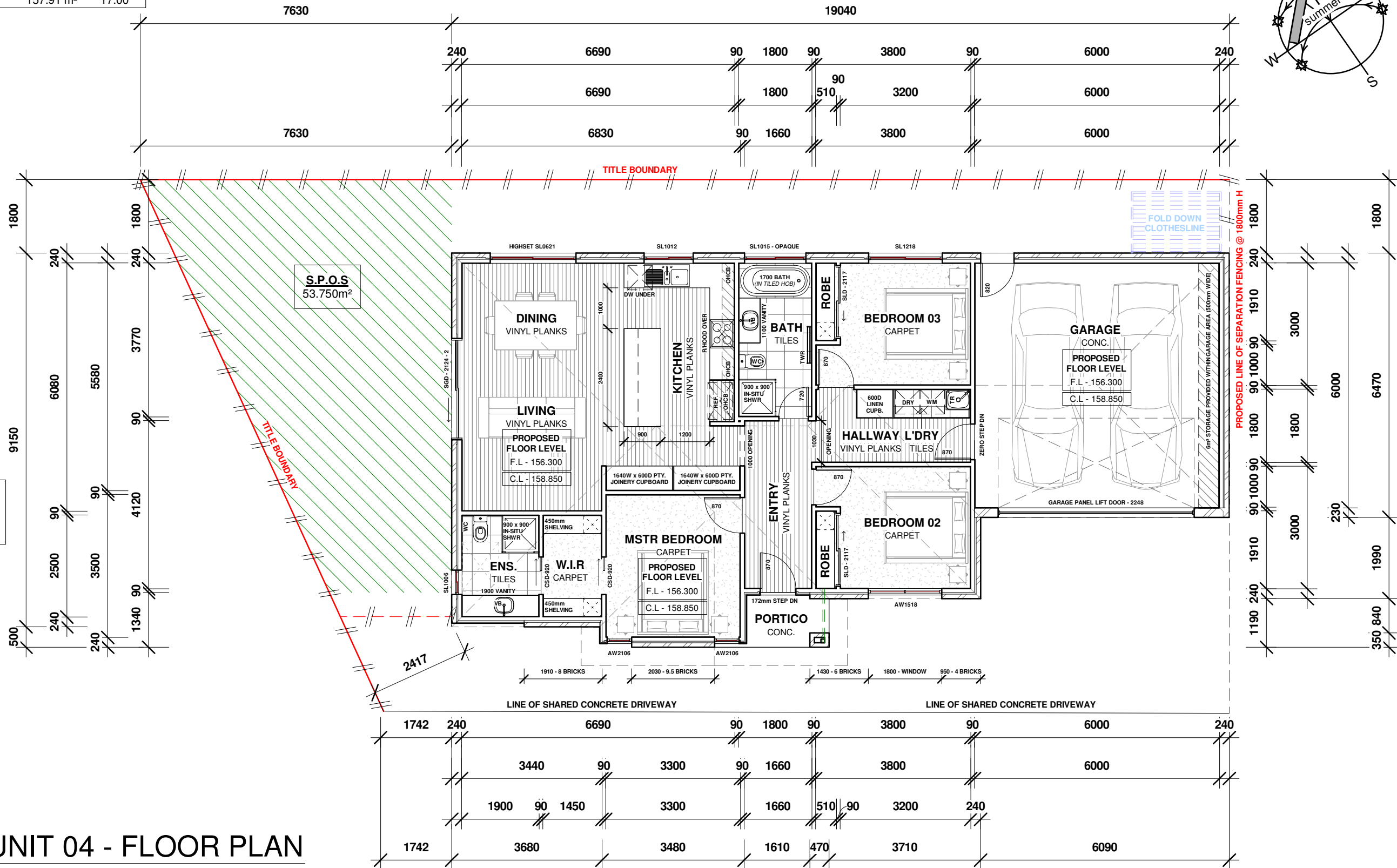
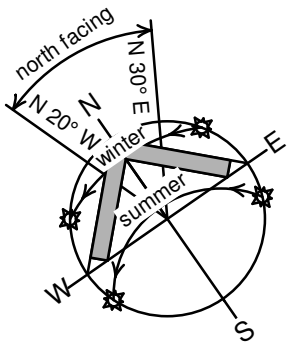
NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

This excludes: Bathroom, laundry, water-closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom and clothes-drying room.

*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.

PROPOSED AREA SCHEDULE		
NAME	AREA	SQUARES
PORCH	2.61 m ²	0.28
DWELLING	114.64 m ²	12.34
GARAGE	40.66 m ²	4.38
TOTAL:	157.91 m ²	17.00



PR.UNIT 04 - FLOOR PLAN

1 : 100

DMC
Drafting & Design

Ph: 03 5443 5328

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REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

SHEET NAME:

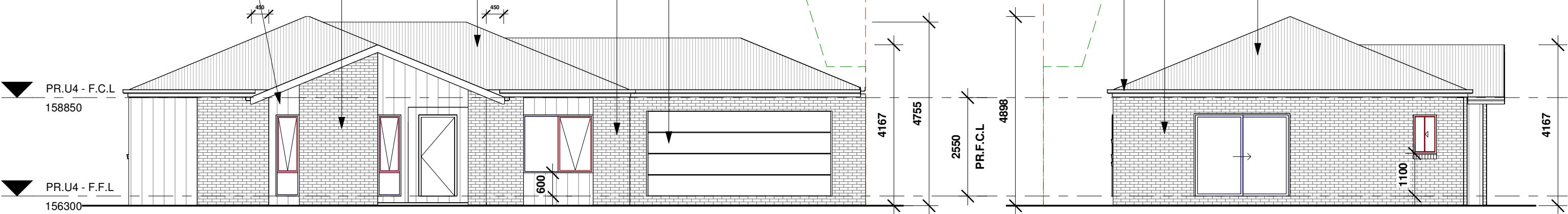
PR.UNIT 04 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A703

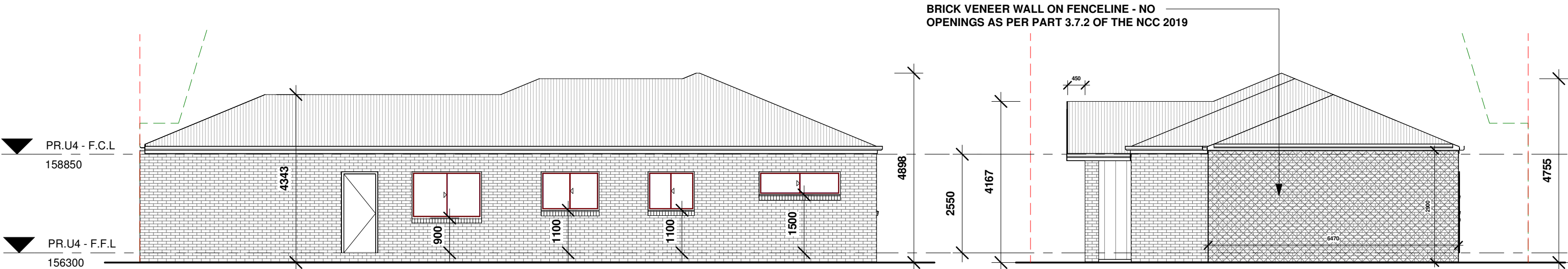
SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
SELECTED BRICKWORK FACE
SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
SELECTED BRICKWORK FACE
SELECTED COLORBOND FASCIA AND GUTTER
SELECTED COLORBOND PANEL LIFT GARAGE DOOR -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS



1 PR.UNIT 04 - SOUTH ELEVATION
1 : 100

2 PR.UNIT 04 - WEST ELEVATION
1 : 100



3 PR.UNIT 04 - NORTH ELEVATION
1 : 100

4 PR.UNIT 04 - EAST ELEVATION
1 : 100

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Drafting & Design

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REVISIONS				
Rev. #	Date	Drawn	Description	
E	02.02.24	HD	REVISED TP ISSUE	
F	19.03.25	CML	REVISED TP ISSUE	

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

SHEET NAME:
PR.UNIT 04 - ELEVATIONS

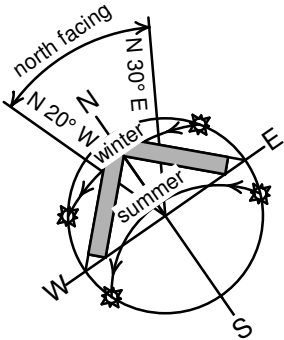
SCALE: 1 : 100 DRAWING NO: A704

LEGEND:

820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHCB - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	1.76 m ²	0.19
DWELLING	93.10 m ²	10.02
GARAGE	24.49 m ²	2.64
TOTAL:	119.35 m ²	12.85



CHECK & VERIFY ALL DIMENSIONS,
LEVELS & CONDITIONS ON SITE BEFORE
COSTING, ORDERING OR PREFABRICATING
ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation
requirements for habitable room areas
as per Clauses 3.8.4 & 3.8.5 of the
NCC Vol 2 2019.

*This excludes: Bathroom, laundry,
water-closet, pantry, walk-in wardrobe,
corridor, hallway, lobby, photographic
darkroom and clothes-drying room.*

*If no natural ventilation is provided to
bathrooms, ensuite and WC's then
mechanical ventilation must be provided.

PR.UNIT 05 - FLOOR PLAN

1 : 100



Ph: 03 5443 5328

ABN: 33 662 688 119

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REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

BAL-12.5

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

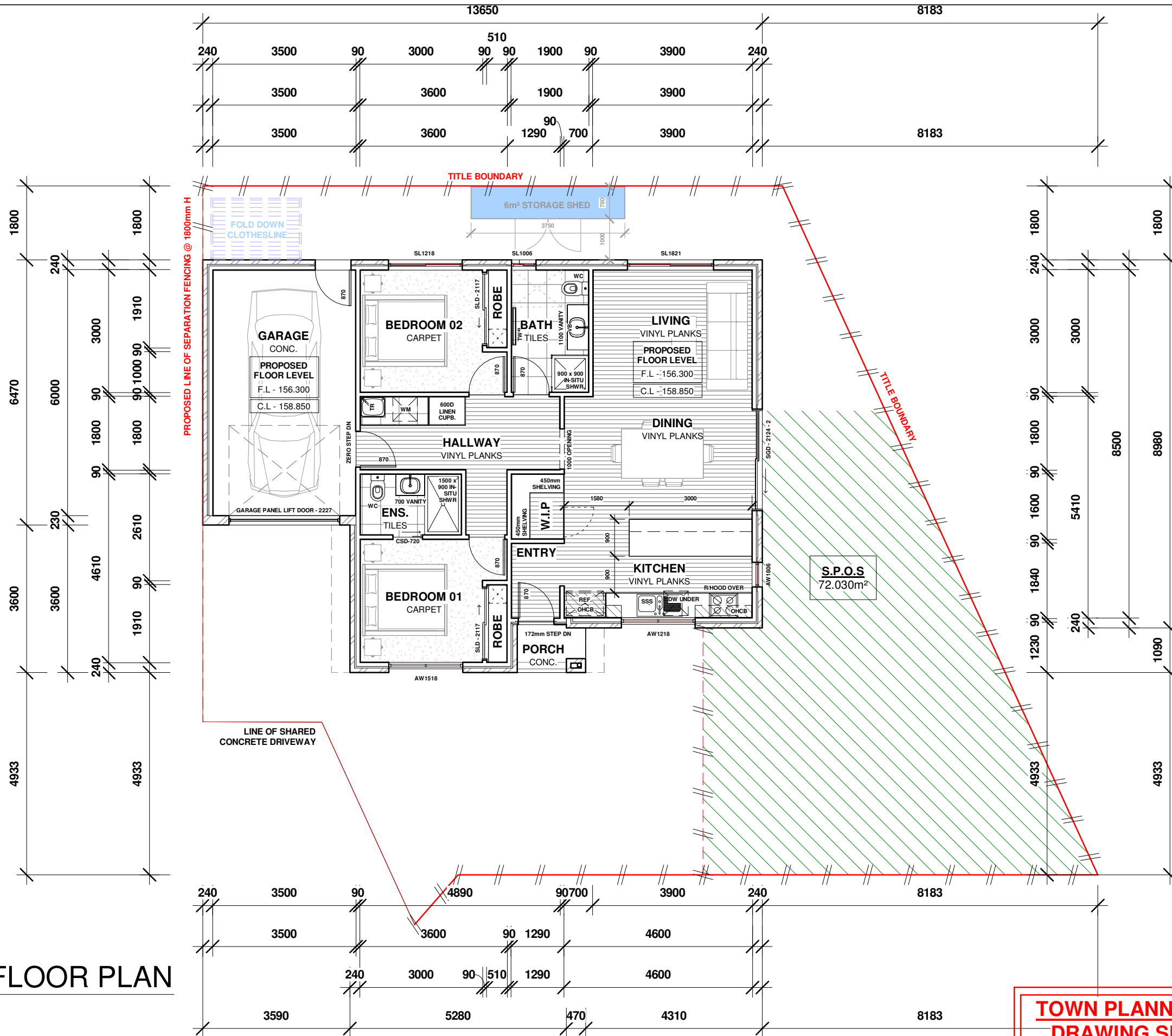
SHEET NAME:

PR.UNIT 05 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A803

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

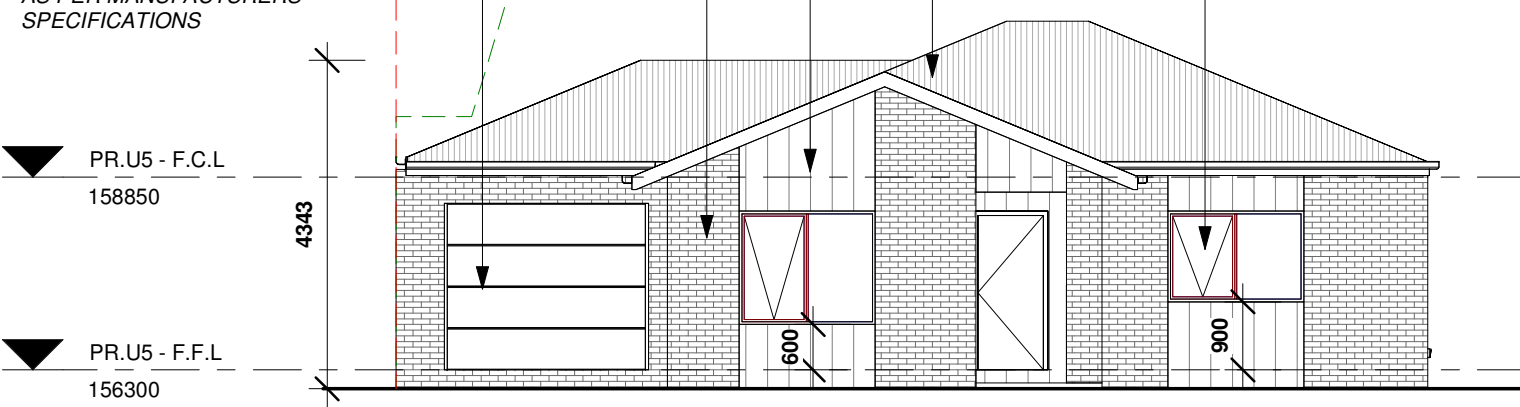


SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

SELECTED COLORBOND PANEL
LIFT GARAGE DOOR - INSTALLED
AS PER MANUFACTURERS
SPECIFICATIONS



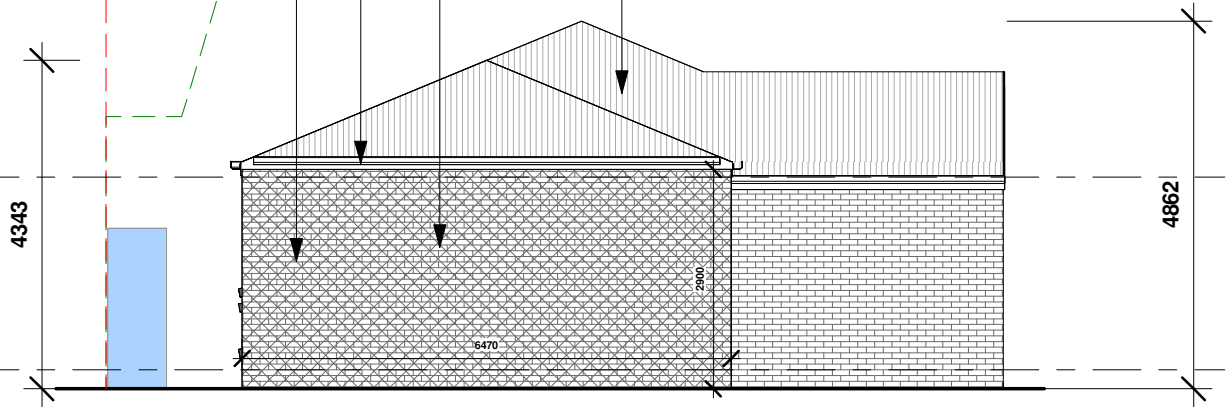
1 PR.UNIT 05 - SOUTH ELEVATION
1 : 100

SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

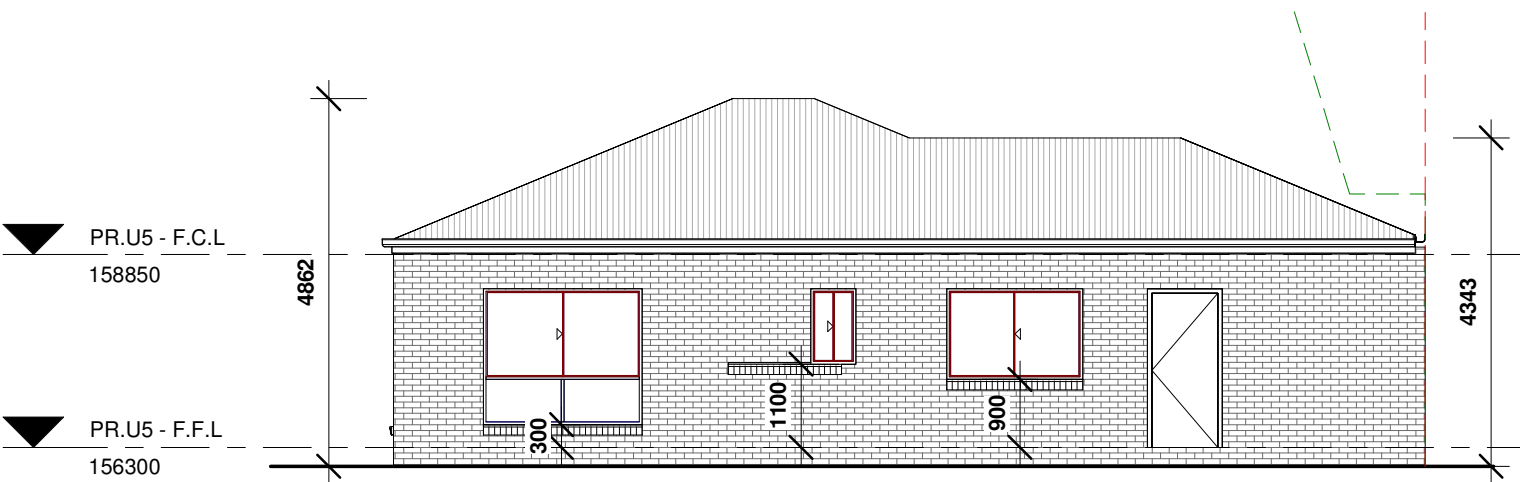
SELECTED BRICKWORK FACE

SELECTED COLORBOND FASCIA AND GUTTER

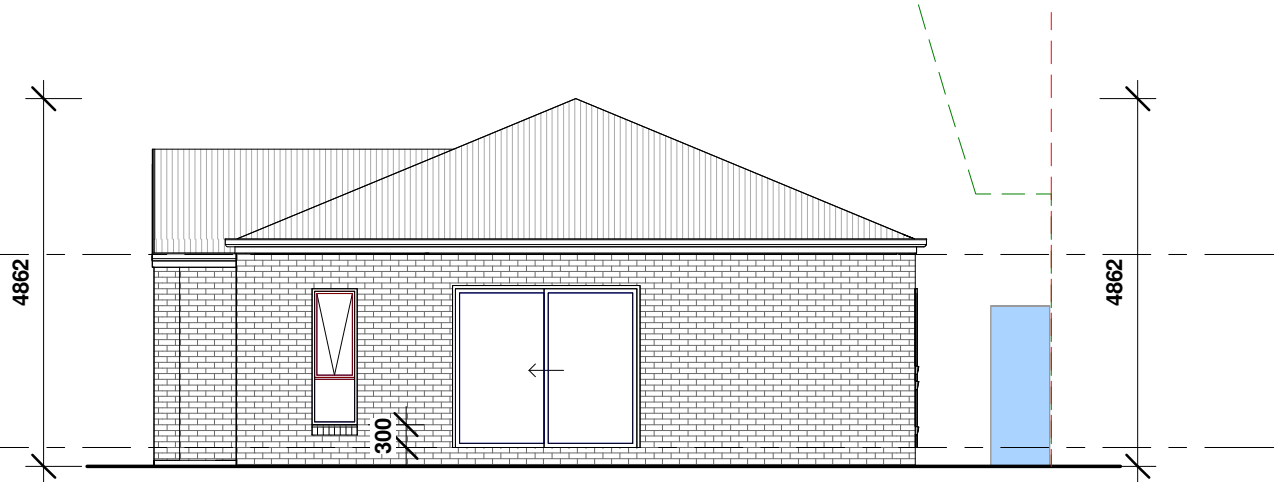
BRICK VENEER WALL ON FENCELINE - NO
OPENINGS AS PER PART 3.7.2 OF THE NCC 2019



2 PR.UNIT 05 - WEST ELEVATION
1 : 100



3 PR.UNIT 05 - NORTH ELEVATION
1 : 100



4 PR.UNIT 05 - EAST ELEVATION
1 : 100

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Drafting & Design

Ph: 03 5443 5328

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ABN: 33 662 688 119

REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

SHEET NAME:

PR.UNIT 05 - ELEVATIONS

SCALE: 1 : 100

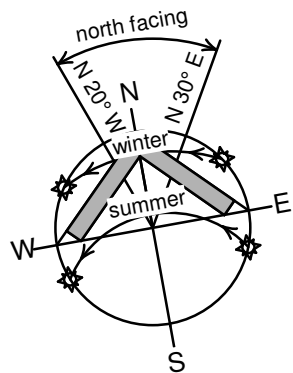
DRAWING NO: A804

LEGEND:

820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHCB - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	1.41 m ²	0.15
DWELLING	92.05 m ²	9.91
GARAGE	28.20 m ²	3.04
TOTAL:	121.66 m ²	13.10



CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

This excludes: Bathroom, laundry, water-closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom and clothes-drying room.

*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.

1

PR.UNIT 06 - FLOOR PLAN

1 : 100

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Drafting & Design

Ph: 03 5443 5328

Unit 7/4 Schoder Street, Strathdale

ABN: 33 662 688 119

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DP-AD 19324**REVISIONS**

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)**BAL-12.5****TOWN PLANNING
DRAWING SET**

NOT FOR CONSTRUCTION

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

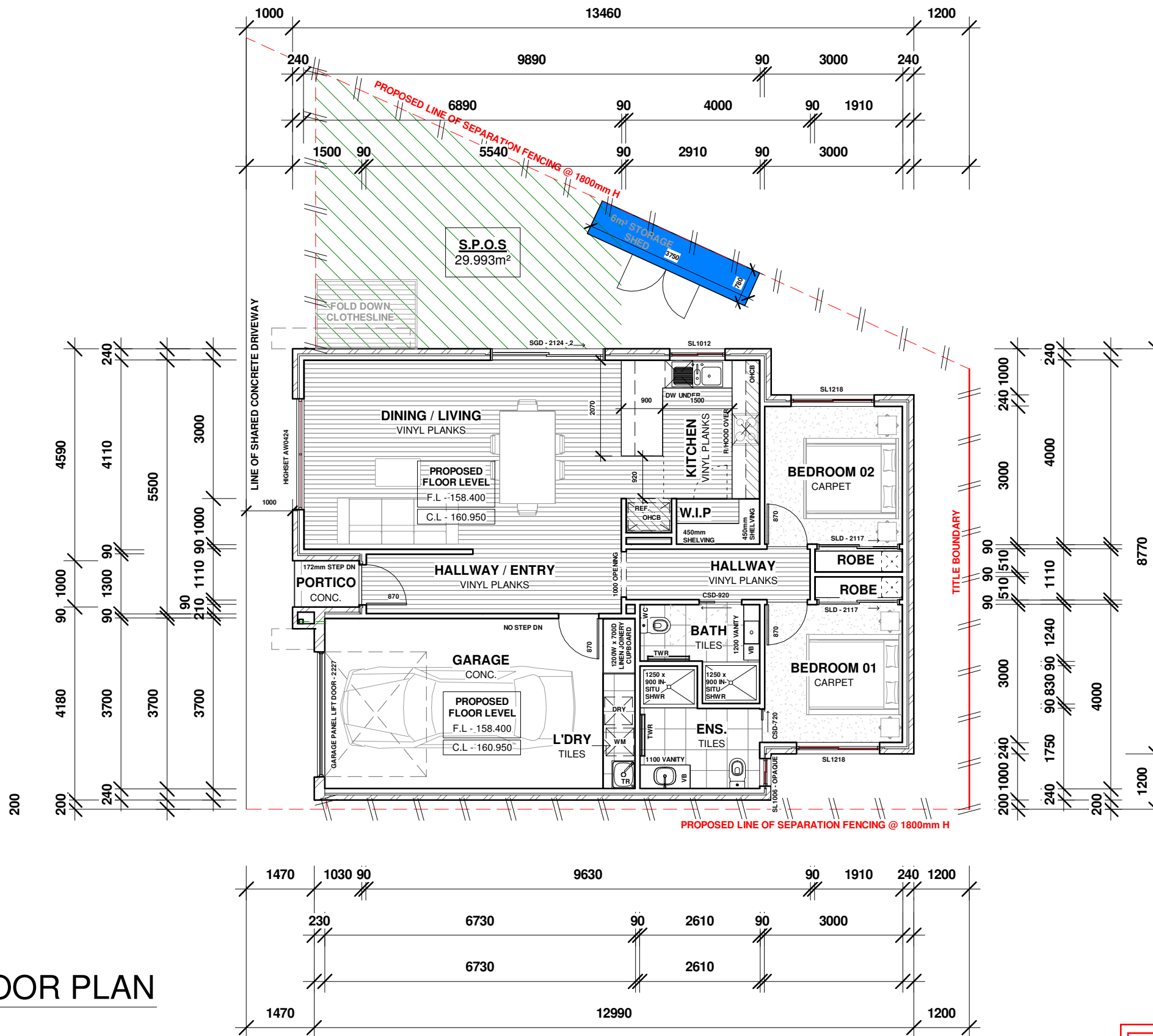
APPROVED BY: DMC

SHEET NAME:

PR.UNIT 06 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A903



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INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

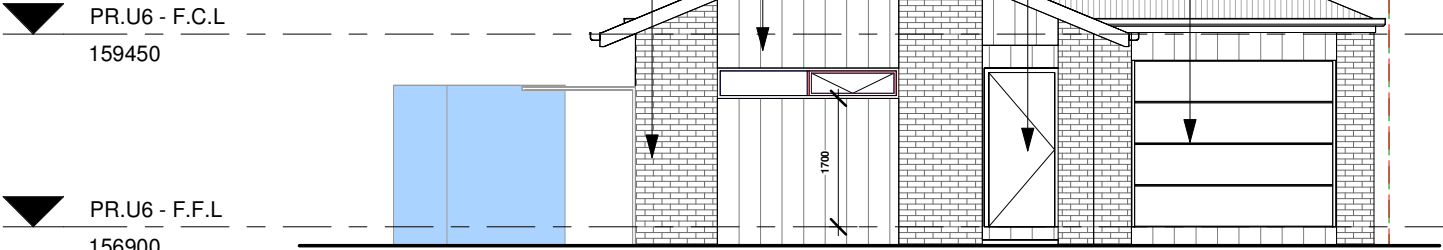
SELECTED BRICKWORK FACE

SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

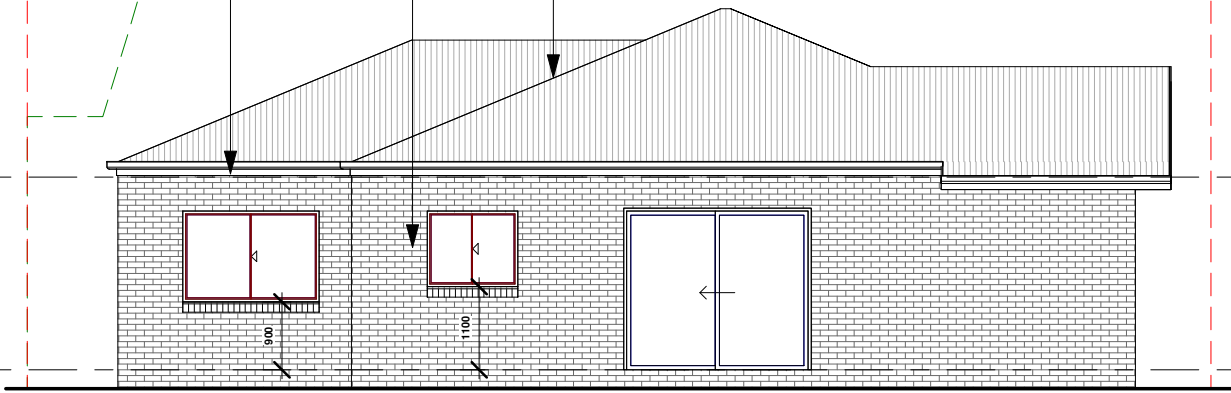
SELECTED BRICKWORK FACE

SELECTED COLORBOND FASCIA AND GUTTER

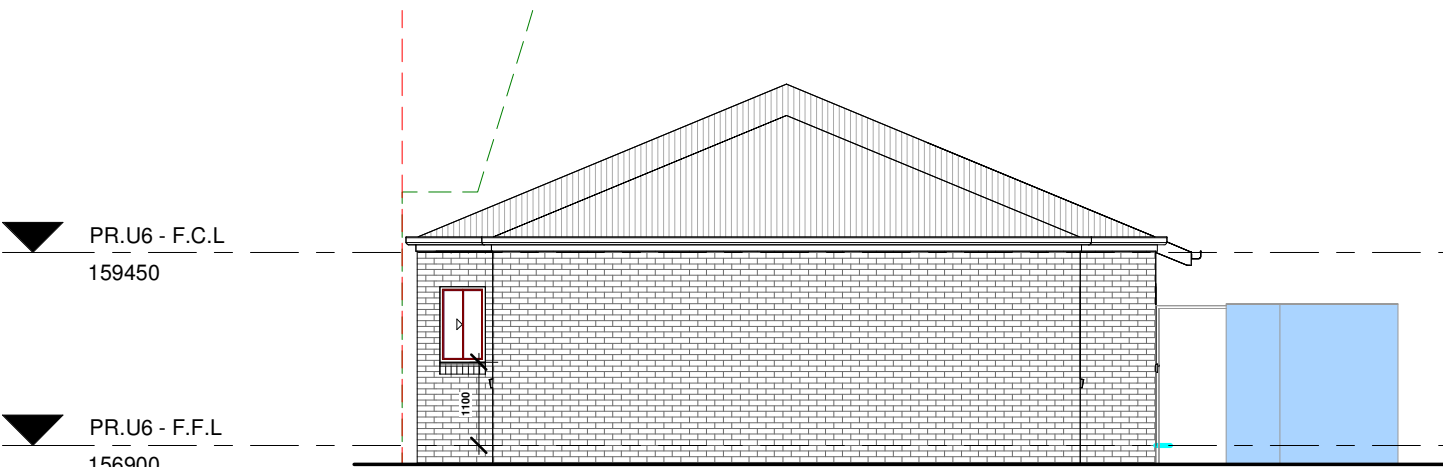
SELECTED COLORBOND PANEL LIFT
GARAGE DOOR - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS



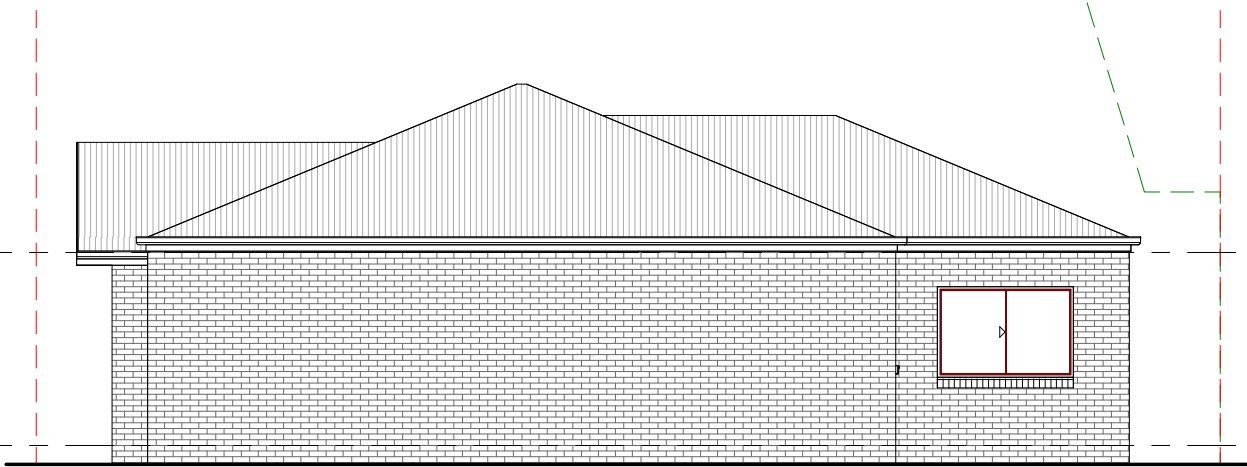
1 PR.UNIT 06 - WEST ELEVATION
1 : 100



2 PR.UNIT 06 - NORTH ELEVATION
1 : 100



3 PR.UNIT 06 - EAST ELEVATION
1 : 100



4 PR.UNIT 06 - SOUTH ELEVATION
1 : 100



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REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA	
ADDRESS: 211 ANZAC AVENUE,	SEYMOUR 3660
PR.RESIDENTIAL DEVELOPMENT (9x	
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A	
LOT)	

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: PR.UNIT 06 - ELEVATIONS	
	ISSUE NUMBER:	TP		
	DRAWN BY:	CML		
	APPROVED BY:	DMC		
			SCALE:	1 : 100
			DRAWING NO: A904	

BAL-12.5

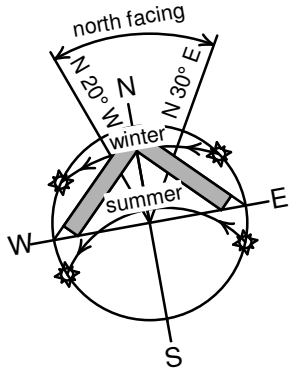
**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

LEGEND:

820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHCB - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	1.44 m²	0.16
DWELLING	94.10 m²	10.13
GARAGE	27.82 m²	3.00
TOTAL:	123.37 m²	13.28



CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

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Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

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*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.

1

PR.UNIT 07 - FLOOR PLAN

1 : 100

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Drafting & Design

Ph: 03 5443 5328

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ABN: 33 662 688 119

REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

BAL-12.5

TOWN PLANNING
DRAWING SET
NOT FOR CONSTRUCTION

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

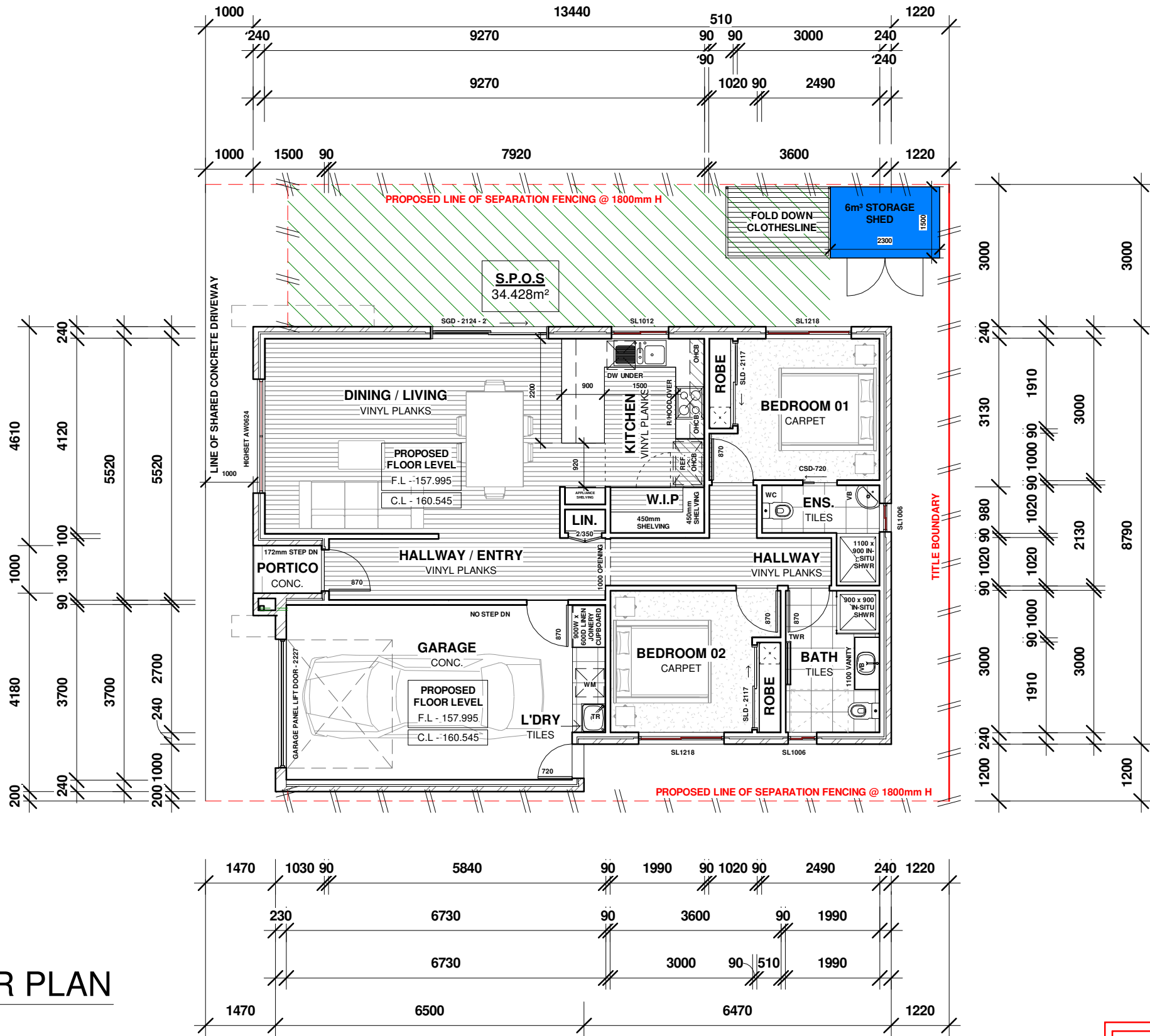
APPROVED BY: DMC

SHEET NAME:

PR.UNIT 07 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A1003



SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

PR.U7 - F.C.L
160545

PR.U7 - F.F.L
157995

1

PR.UNIT 07 - WEST ELEVATION

1 : 100

SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED BRICKWORK FACE

SELECTED COLORBOND FASCIA AND GUTTER

SELECTED COLORBOND PANEL LIFT
GARAGE DOOR - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

2550

2

PR.UNIT 07 - NORTH ELEVATION

1 : 100

PR.U7 - F.C.L
160545

PR.U7 - F.F.L
157995

3

PR.UNIT 07 - EAST ELEVATION

1 : 100

2550

4

PR.UNIT 07 - SOUTH ELEVATION

1 : 100

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Drafting & Design

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REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

APPROVED BY: DMC

BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

SHEET NAME:
PR.UNIT 07 - ELEVATIONS

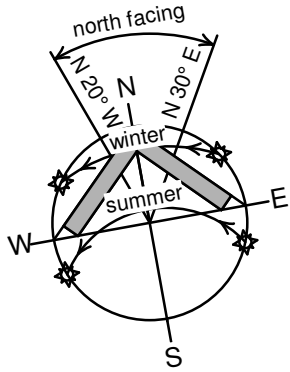
SCALE: 1 : 100 DRAWING NO: A1004

LEGEND:

820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
OHCB - Overhead Cupboards
PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	1.44 m²	0.16
DWELLING	94.30 m²	10.15
GARAGE	27.62 m²	2.97
TOTAL:	123.36 m²	13.28



CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

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*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.

1

PR.UNIT 08 - FLOOR PLAN

1 : 100

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Drafting & Design

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ABN: 33 662 688 119

REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

BAL-12.5

TOWN PLANNING
DRAWING SET
NOT FOR CONSTRUCTION

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: CML

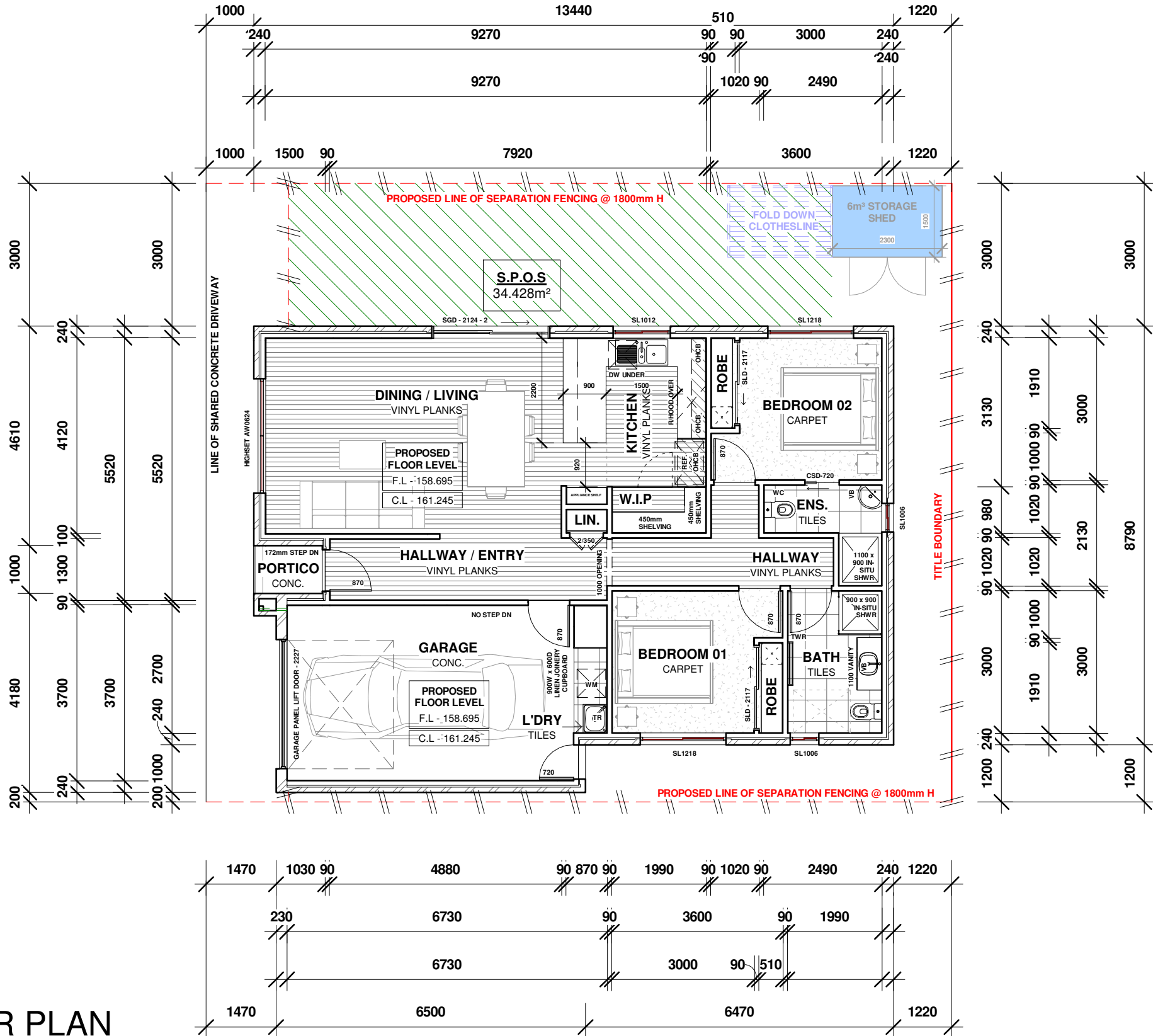
APPROVED BY: DMC

SHEET NAME:

PR.UNIT 08 - FLOOR PLAN

SCALE: 1 : 100

DRAWING NO: A1103



SELECTED COLORBOND SHEET ROOFING @ 15° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS

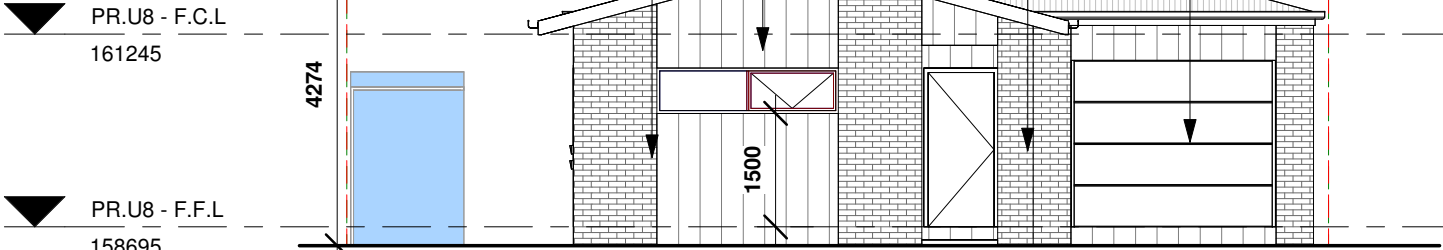
SELECTED BRICKWORK FACE

SELECTED COLORBOND SHEET ROOFING @ 15° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

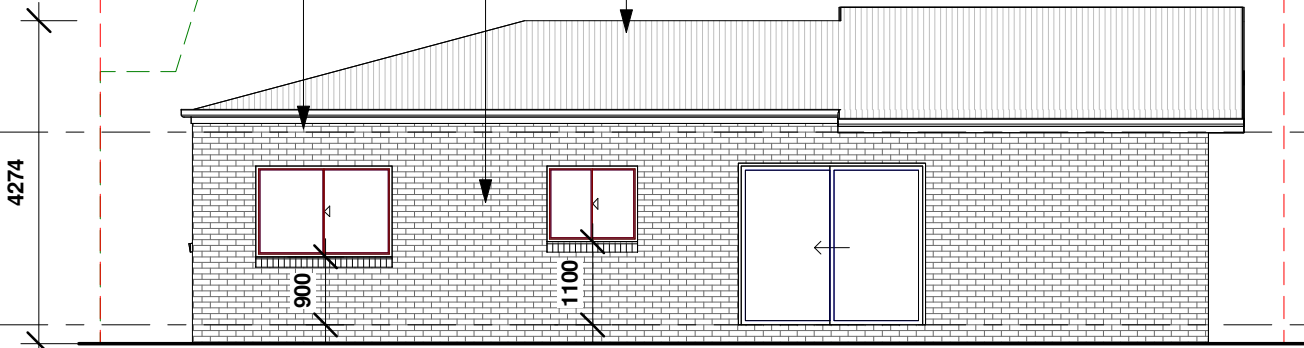
SELECTED BRICKWORK FACE

SELECTED COLORBOND FASCIA AND GUTTER

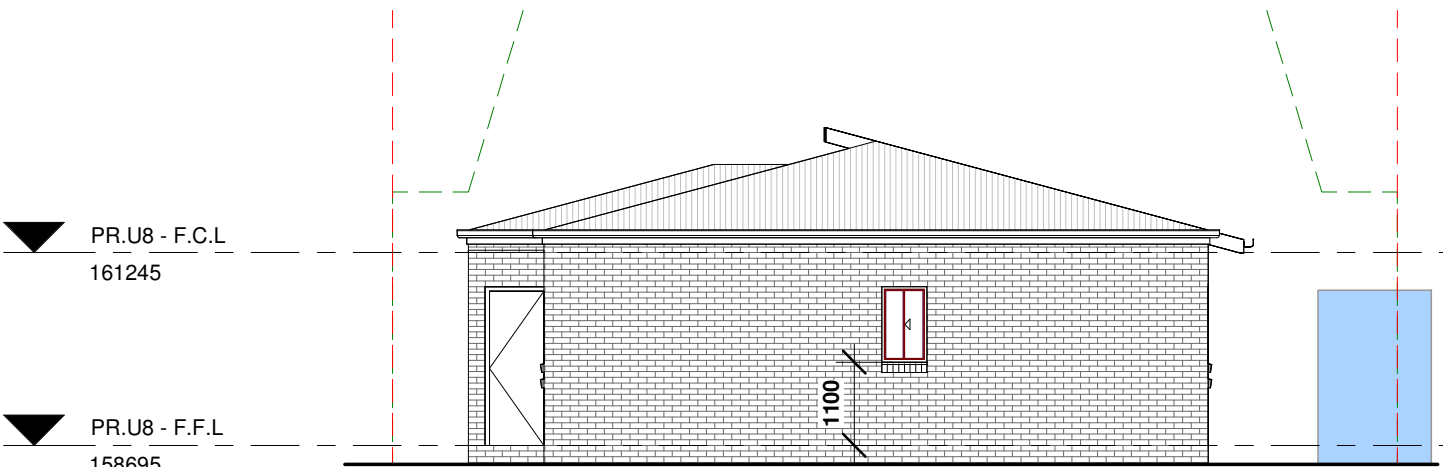
SELECTED COLORBOND PANEL LIFT
GARAGE DOOR - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS



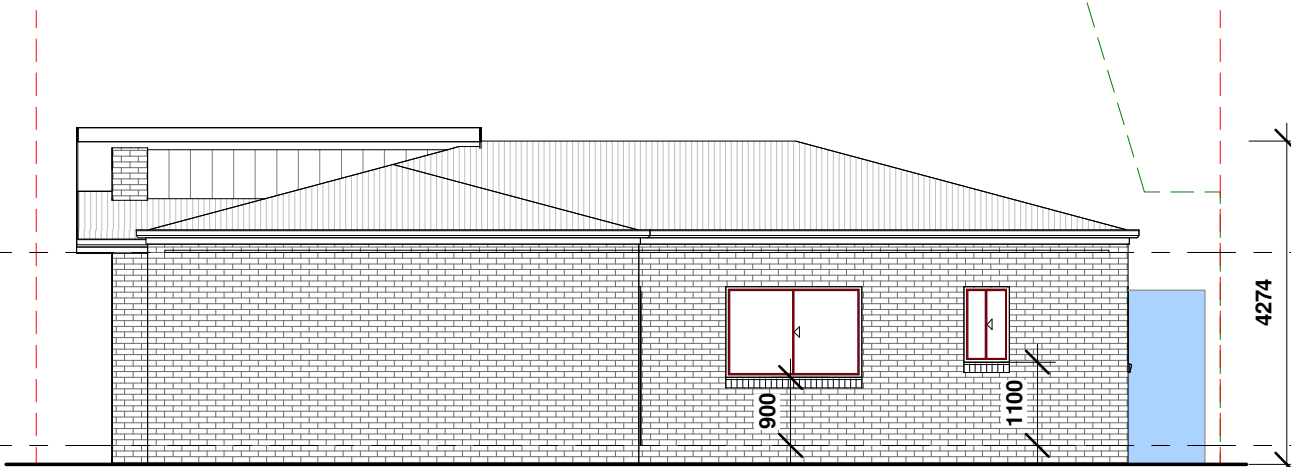
1 PR.UNIT 08 - WEST ELEVATION
1 : 100



2 PR.UNIT 08 - NORTH ELEVATION
1 : 100



3 PR.UNIT 08 - EAST ELEVATION
1 : 100



4 PR.UNIT 08 - SOUTH ELEVATION
1 : 100



Ph: 03 5443 5328

ABN: 33 662 688 119

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REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA	
ADDRESS: 211 ANZAC AVENUE,	SEYMOUR 3660
PR.RESIDENTIAL DEVELOPMENT (9x	
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A	
LOT)	

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: PR.UNIT 08 - ELEVATIONS	
	ISSUE NUMBER:	TP		
	DRAWN BY:	CML	SCALE: 1 : 100	DRAWING NO: A1104
	APPROVED BY:	DMC		

BAL-12.5

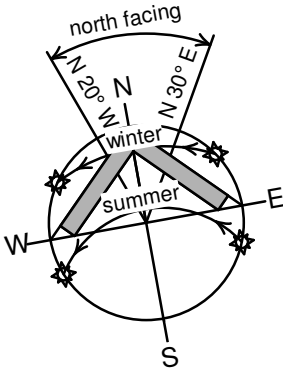
**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

LEGEND:

- 820 - Door width (Nom.)
1012 - Window size H x W (Nom.)
C.H - Ceiling Height
C.O.S - Confirm on site
CSD - Cavity Sliding Door
DP - Downpipe
DS - Double Stud
DW - Dishwasher
EF - Exhaust Fan
EX. - Existing
F - Fixed
F.F.L - Finished Floor Level
FW - Floor Waste
(H) - Lift off hinges to WC
HR - Handrail
HWS - Hot Water Service
LBW - Load-bearing Wall
MV - Microwave
N.G.L - Natural Ground Line
O - Openable
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PDP - Proposed Downpipe
REF - Refrigerator
R/H - Rangehood
R.L - Arbitrary raised level
RWH - Rainwater Head
SD - Smoke Detector
SGD - Sliding Glass Door
SHWR - Shower
SSS - Stainless Steel Sink
T - Trough
TR - Towel Rail
V - Vent
VB - Vanity Basin
WC - Water Closet
WIR - Walk in Robe
WM - Washing Machine
WN - Wall Niche
WO - Wall Oven
WP - Water Point
WT - Water Tap

PROPOSED AREA SCHEDULE

NAME	AREA	SQUARES
PORCH	4.04 m²	0.43
DWELLING	103.67 m²	11.16
GARAGE	26.17 m²	2.82
TOTAL:	133.88 m²	14.41



CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

NATURAL LIGHT & VENTILATION

NL - NATURAL LIGHT = Min. 10%
V - VENTILATION = Min. 5%

Minimum natural light and ventilation requirements for habitable room areas as per Clauses 3.8.4 & 3.8.5 of the NCC Vol 2 2019.

This excludes: Bathroom, laundry, water-closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom and clothes-drying room.

*If no natural ventilation is provided to bathrooms, ensuite and WC's then mechanical ventilation must be provided.

PR.UNIT 09 - FLOOR PLAN

1 : 100



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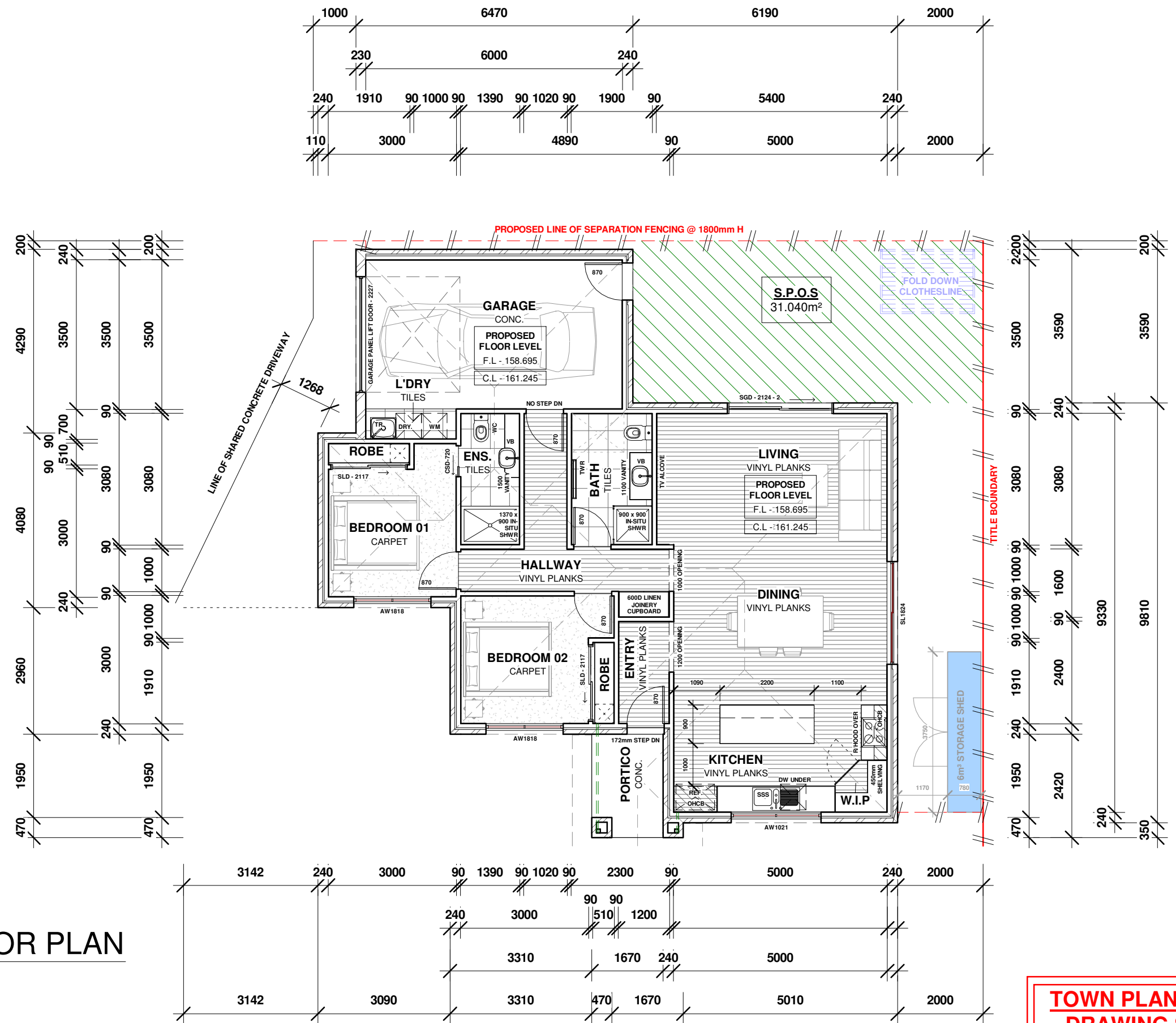
REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REVISED TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA	
ADDRESS: 211 ANZAC AVENUE,	02.02.2024
PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)	

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: PR.UNIT 09 - FLOOR PLAN	
	ISSUE NUMBER:	TP		
	DRAWN BY:	CML		
	APPROVED BY:	DMC	SCALE: 1 : 100	DRAWING NO: A1203

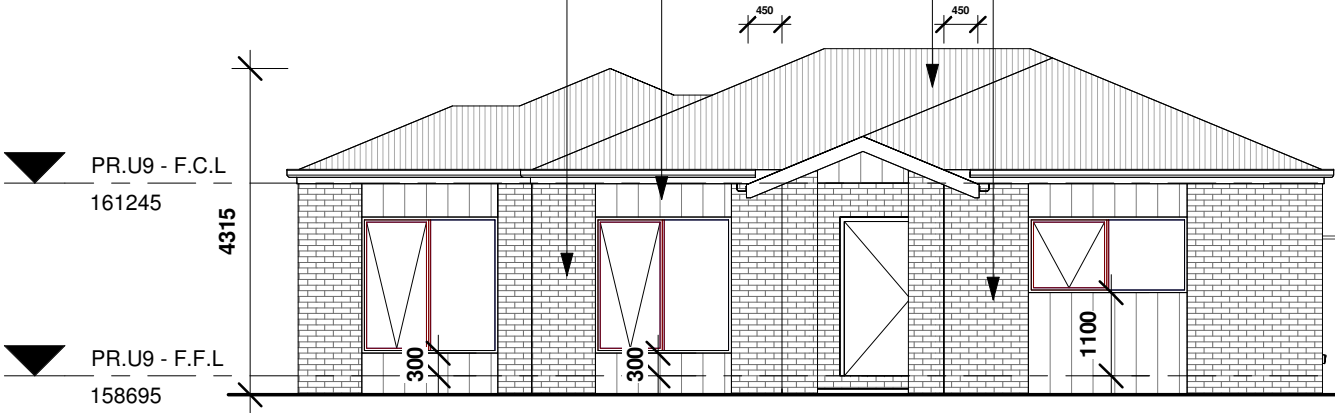
BAL-12.5

**TOWN PLANNING
DRAWING SET**
NOT FOR CONSTRUCTION

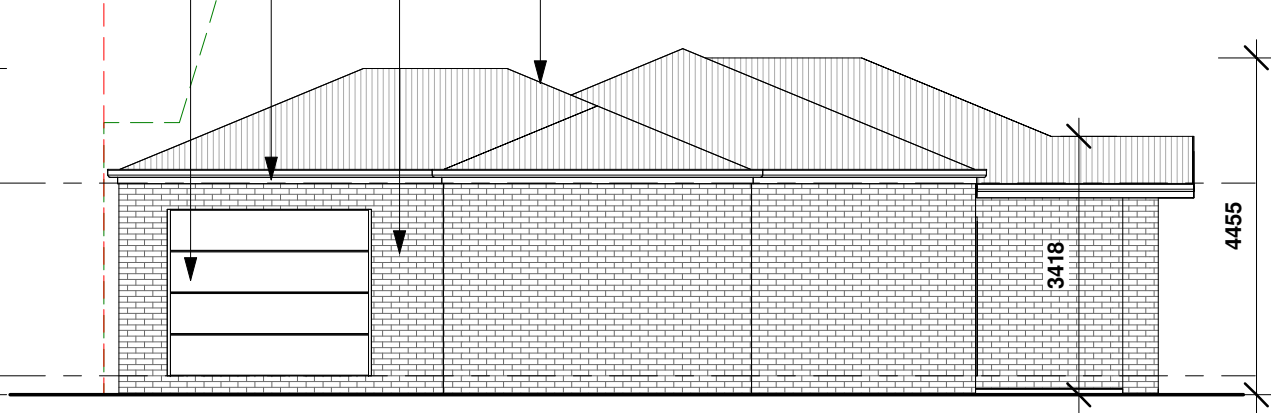


SELECTED COLORBOND SHEET ROOFING @ 22.50° PITCH -
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
SELECTED LYSAGHT 'DOMINION'
WALL CALDDING - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS
SELECTED BRICKWORK FACE

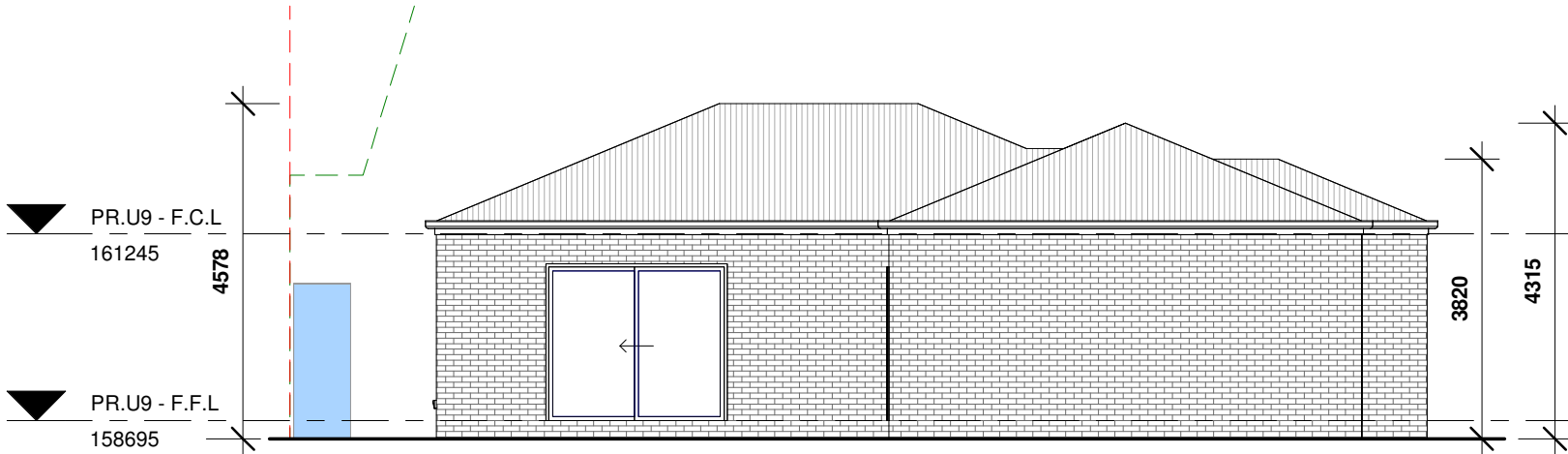
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INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
SELECTED BRICKWORK FACE
SELECTED COLORBOND FASCIA AND GUTTER
SELECTED COLORBOND PANEL LIFT
GARAGE DOOR - INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS



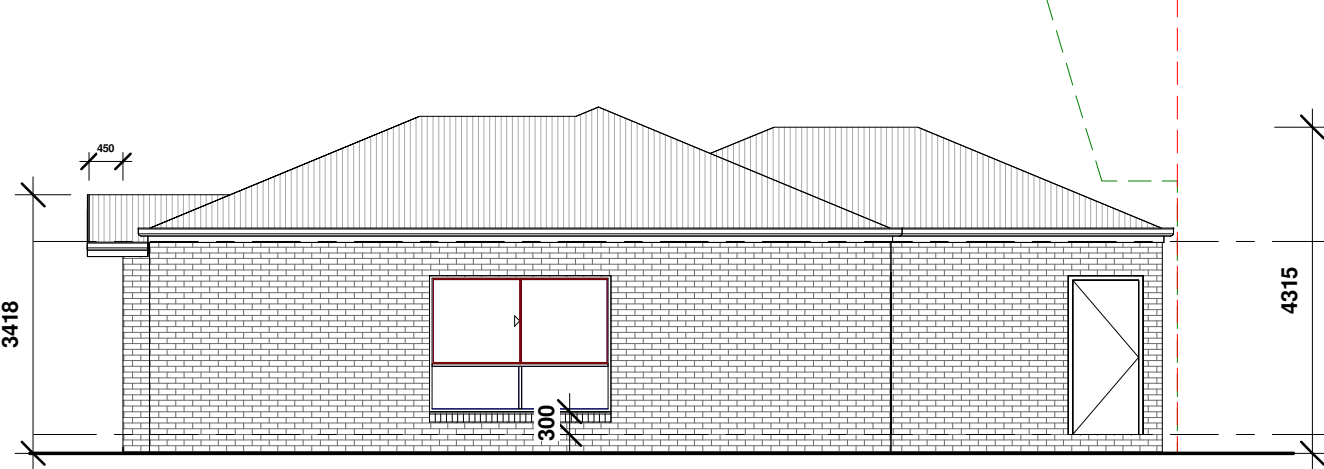
1 PR.UNIT 09 - SOUTH ELEVATION
1 : 100



2 PR.UNIT 09 - WEST ELEVATION
1 : 100



3 PR.UNIT 09 - NORTH ELEVATION
1 : 100



4 PR.UNIT 09 - EAST ELEVATION
1 : 100



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F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: NATASHA & DANIEL DUNA
ADDRESS: 211 ANZAC AVENUE, 02.02.2024
PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A
LOT)

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PROJECT NUMBER: DMC714 - 10-22	DATE:		19.03.2025		SHEET NAME: PR.UNIT 09 - ELEVATIONS
	ISSUE NUMBER:		TP		
	DRAWN BY:		CML		
	APPROVED BY:		DMC		
				SCALE: 1 : 100	DRAWING NO: A1204

BAL-12.5

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1 EX.SHADOW DIAGRAM - 9am
1 : 500

2 PR.SHADOW DIAGRAM - 9am
1 : 500

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DMC
Drafting & Design
Unit 7/4 Schoder Street, Strathdale
Ph: 03 5443 5328
ABN: 33 662 688 119

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Rev. #	Date	Drawn	Description
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F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: DANIEL & NATASHA DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: PROPOSED SHADOW DIAGRAM - 9am	
	ISSUE NUMBER:	TP		
	DRAWN BY:	HD		
	APPROVED BY:	DMC		
			SCALE: 1 : 500	DRAWING NO: A1304





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F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: DANIEL & NATASHA DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER: DMC714 - 10-22

DATE:	19.03.2025
ISSUE NUMBER:	TP
DRAWN BY:	HD
APPROVED BY:	DMC

SHEET NAME: PROPOSED SHADOW DIAGRAM - 12pm

SCALE: 1 : 500	DRAWING NO: A1305
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1

EX.SHADOW DIAGRAM - 12pm

1 : 500

2

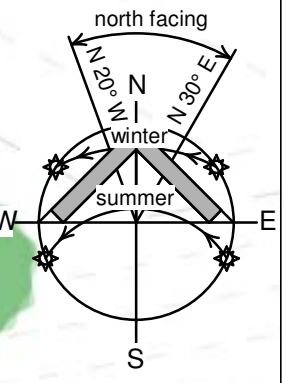
PR.SHADOW DIAGRAM - 12pm

1 : 500

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DRAWING SET

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1 EX.SHADOW DIAGRAM - 3pm
1 : 500

2 PR.SHADOW DIAGRAM - 3pm
1 : 500

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E	02.02.24	HD	REV TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: DANIEL & NATASHA DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER: DMC714 - 10-22

DATE:	19.03.2025
ISSUE NUMBER:	TP
DRAWN BY:	HD
APPROVED BY:	DMC

SHEET NAME: PROPOSED SHADOW DIAGRAM - 3pm

SCALE: 1 : 500	DRAWING NO: A1306
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LANDSCAPING SPECIFICATIONS

All dimensions to be checked on site. Contractors to abide by all current Australian Standards and requirements of local council.
All services to be screened from thoroughfare & neighbouring properties.
Any existing street trees must be retained & protected during contruction.

GENERAL NOTES

Landscape contractor to obtain underground service information from principle builder and ensure no damage is done to underground services.
This is a concept only. Contractor will not be held accountable for any damages.
Principle contractor to ensure the site is completely cleaned up upon project completion and maintain gardens for a period of 12 Weeks.
unless otherwise specified. Frontage Landscaping to be completed within 2 months of dwelling completion.
All services to be screened from roads & neighbours.

DRAINAGE

Ensure all areas are adequately drained. Gardens must fallaway from buildings and paving.
Landscape & builder to access and improve drainage where necessary including locating & installing site pits and connecting to stormwater.
Service pits and manholes to be exposed, free draining and non-ponding.

EDGING

Garden edging to be paved continuous coloured concrete or treated timber.

GARDEN BEDS

Landscape to access the condition of the soil and cultivate to minimum - 150mm min. for groundcovers; 300mm min. for shrubs; 500mm for trees or 2x rootball.
Garden beds areas should be sprayed out with glyphosate per product instructions and shall consist of topsoil that remains insitu or has been stockpiled, or imported topsoil to comply with AS 4419-2003.
Stones exceeding 50mm diameter and any unwanted matter, including roots, sticks and weeds to be removed.

The finished surface of mulched garden beds shall be 20mm below the finished surface level of adjacent surfaces such as driveways.
Quality hoop pine fines to be added at a depth of 100mm as weed preventative.
On going monitoring & maintenance of weeds will include manual removal & use of herbicide as specified on product label.
Mulch must be contained and not flow into waterways, garden beds should be less than 1:3 grade.
Garden beds & turf abutting house wall to have a 200-300mm wide river rock buffer strip ensuring weep holes are kept clear.

PLANTS

All plants must be of premium quality, free from pests, weeds and diseases and any damage. Plants to be established but not pot bound. Damaged, dead or diseased plants to be replaced. Plants to be watered in with a liquid organic seaweed solution such as Seasol to product specifications.

ROCKS

Carry out excavation in whatever type of material is encountered with the exception of rock.
Notify the Builder immediately rock is discovered and give two clear working days' notice for a joint inspection by the Builder and Superintendent before commencing removal or covering over of rock.
Payment will not be approved for rock removed before such joint inspection.
Rock shall be measured in its undisturbed condition as follows:
• Rock shall be defined as material found in ledges, masses, bedded or conglomerate deposits which present the characteristics of solid rock, and which in the opinion of the Builder would normally be removed by pneumatic equipment.
• Floaters shall be classified as rock only if the least dimension exceeds 800 mm or the volume exceeds 0.5 m3.
• Measurement shall not include any over-excavation required to remove rock.
• If the required widths or depths of the excavation are increased in order to remove floaters, such additional excavation shall be back-filled and compacted with approved materials similar to adjacent undisturbed ground, at no extra cost to the Builder.

FENCING NOTES:

POSTS

Fence posts shall be at 2700 mm maximum centres, erected plumb and true to line, in 250 mm minimum diameter holes, set 600 mm minimum into ground and back-filled with concrete.
Corner and double gate post to be 125 x 125mm.
Single gate post, end post and intermediate posts – 125x 75mm at 2700 mm centres.
Post tops shall be finished with a neat splay-out.
Set double and single gate posts in 250mm diameter holes 600mm deep at 2700mm maximum centres.

RAILS

Rails shall be H3 pressure treated radiata pine in long lengths.
Top and bottom rails: nominal 75 x 50mm hardwood or nominal 100 x 50mm treated pine (two panels long).
Intermediate rails: nominal 75 x 38mm hardwood or 75 x 50mm treated pine (two panels long).
Set rails into checks without over-cut and fixed with galvanised fixings. Joints in rails shall be made at alternate posts and staggered.

PLINTH

Plinth shall be 150 x 25 mm pressure treated F4 radiata pine in minimum two panel lengths.

PALINGS

Box palings shall be 12 mm thick, sawn hardwood or pressure treated pine.
Paling widths shall be 150 mm for under-palings and 100 mm cover-palings. Palings shall lap at least 25 mm.
Palings shall be cut tight onto plinths and placed truly vertical. Fence tops shall be cut to straight lines, finished parallel to the plinth line.
Reject all palings with knotholes or loose gum shakes.

FIXINGS

Use of power-driven equipment for fixing of palings on fences is acceptable providing nails conform to the following:
• Inner palings – 40 x 2.5mm flathead nails
• Outer palings – 50 x 2.8mm flathead nails.
Cover-paling nails are not to make contact with under-paling nails, to accommodate paling shrinkage/movement.
Any fixings or nails that are buckled or twisted shall be removed and new fixings provided.
Power driven Staples and “T” Nails are not to be used.

LANDSCAPING LEGEND:

	CONCRETE AREAS
	GARDEN LANDSCAPING
	TUSCAN SAND OR SIMILAR
	DROUGHT TOLERANT TURF OR GRASS
	COUNCIL SUPPLIED WASTE & RECYCLING BINS (x2)
STORE	SHED/BIKE STORE REQUIRED UNDER SCHEME
	SELECTED CLOTHESLINE AS PER PAGE UNIT SCHEDULES

GARDEN AREA LEGEND

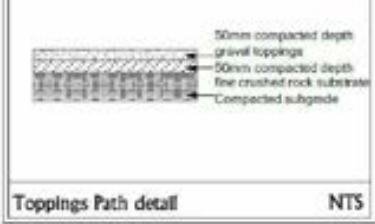
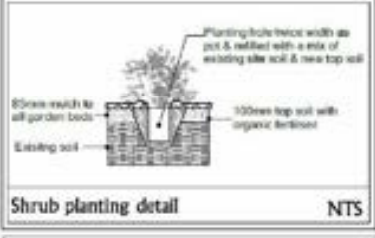
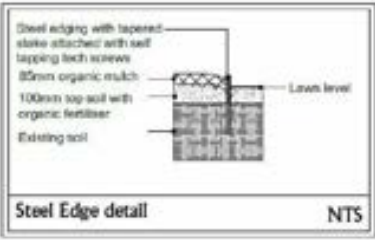
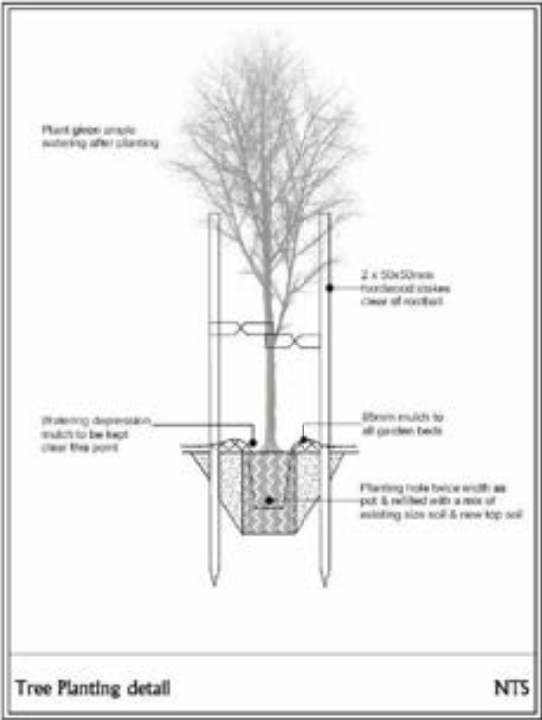
MINIMUM PERCENTAGE REQUIREMENTS ARE AS FOLLOWS: 400-500m² = 25% 501-650m² = 30% >650m² = 35%	35% OF SUBJECT ALLOTMENT (2906.954m²) IS 1017.434m² TOTAL LANDSCAPING AND GARDEN AREA = 232.696m²
---	--

LANDSCAPING SCHEDULE:

GRASSED AREA -	721.580m²	CONCRETE CROSSOVER -	42.189m²
SELECTED MULCH GARDEN BED -	105.869m²	EXISTING FENCING (REPLACE AND REPAIR OF EXISTING FENCE TO BE CONFIRMED ONSITE)	197.490m
TUSCAN SAND OR SIMILAR	217.852m²	COLORBOND FENCE @ 1800mm H	121.012m
CONCRETE PATH/DRIVEWAY -	645.215m²	FEATURE SCREENING @ 1800mm H	6.00m

PLANTING SCHEDULE:

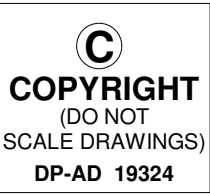
PLANT TYPE:	QTY:	COMMON NAME:	BOTANICAL NAME:	SCHEDULES SIZE:	MATURE HEIGHT:	MATURE SPREAD:
(a)	x40	ROSEMARY GREVILLEA	GREVILLEA ROSMARINIFOLIA CRIMSON VILLEA (TM)	140mm	800mm	800mm
(b)	x40	WESTRINGIA GREY BOX	WESTRINGA FRUTICOSA GREY BOX (WES04)	140mm	400mm	400mm
(c)	x40	LOMANDRA EVERGREEN BABY	EVERGREEN BABY LOMANDRA LABILL (LM600)	140mm	450mm	450mm



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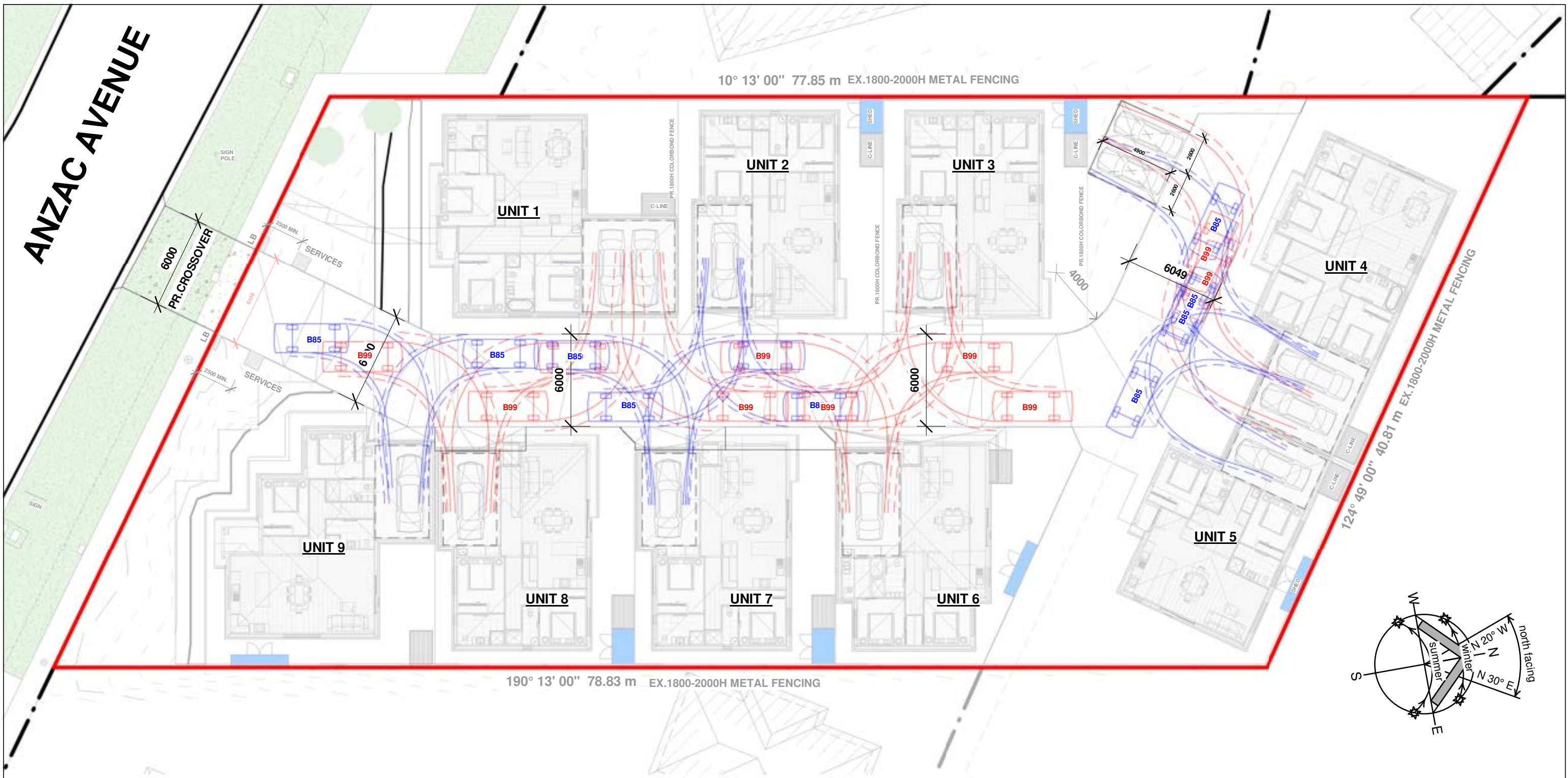


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E	02.02.24	HD	REV TP ISSUE	
F	19.03.25	CML	REVISED TP ISSUE	

PROJECT CLIENT: DANIEL & NATASHA DUNA	
ADDRESS: 211 ANZAC AVENUE,	SEYMOUR 3660
PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)	

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: PROPOSED LANDSCAPING SPECS.	
	ISSUE NUMBER:	TP		
	DRAWN BY:	HD		
	APPROVED BY:	DMC	SCALE: 1 : 200	DRAWING NO: A1308



1 PROPOSED CAR PARKING PLAN
1 : 250



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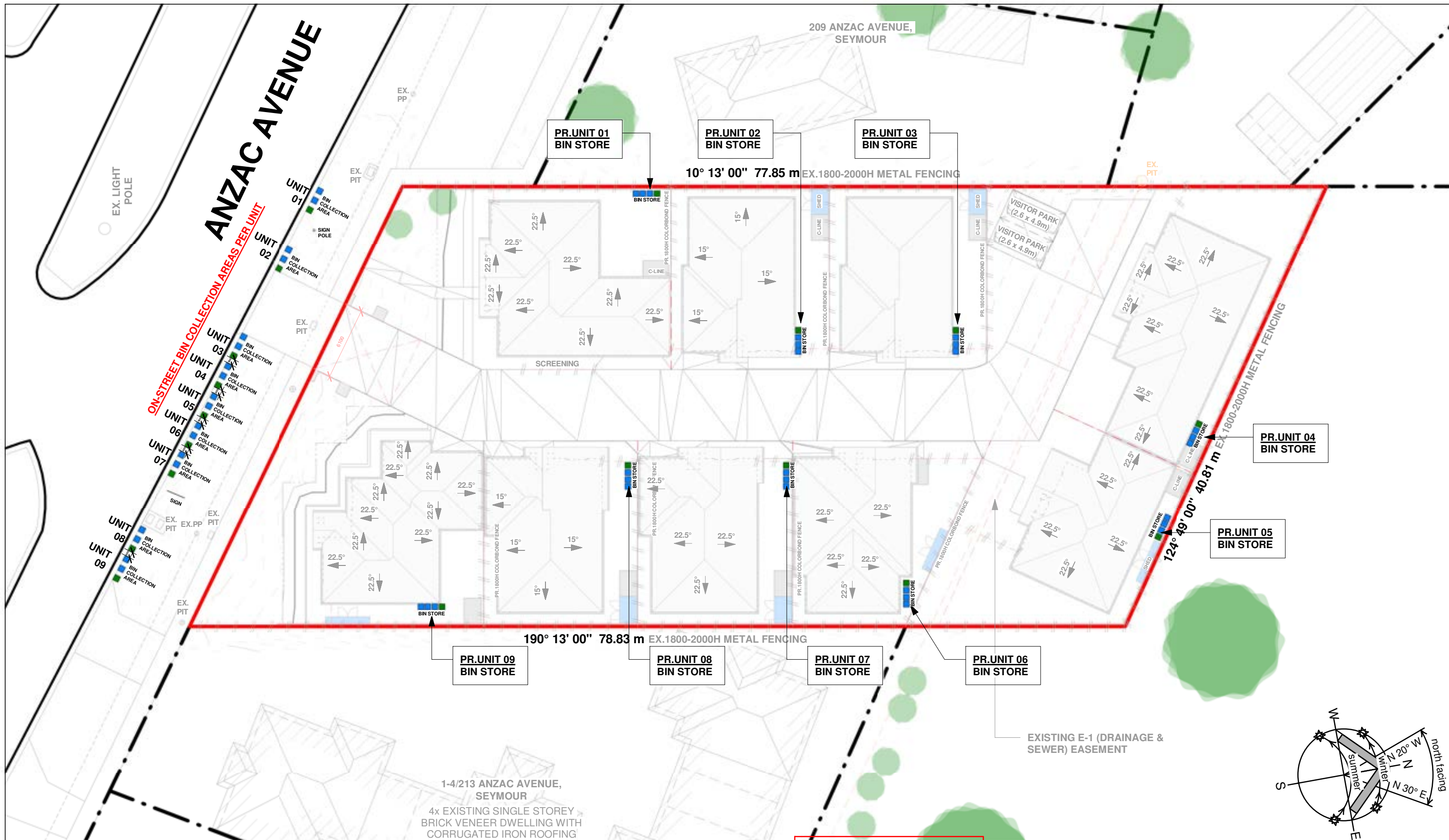
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F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: DANIEL & NATASHA DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PR.RESIDENTIAL DEVELOPMENT (9x
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

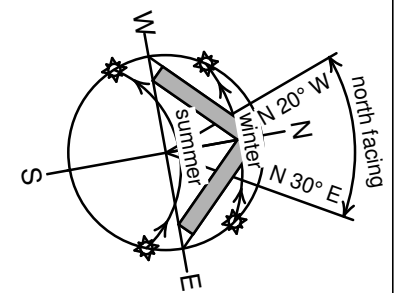
PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: PROPOSED CAR PARKING PLAN	
	ISSUE NUMBER:	TP		
	DRAWN BY:	HD		
	APPROVED BY:	DMC	SCALE: 1 : 250	DRAWING NO: A1309

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1 PROPOSED WASTE MANAGEMENT PLAN
1 : 300

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PLAN OF SUBDIVISION - LP137186

ALL EXISTING DIMENSIONS
TO BE CONFIRMED ON SITE

CHECK & VERIFY ALL DIMENSIONS,
LEVELS & CONDITIONS ON SITE BEFORE
COSTING, ORDERING OR PREFABRICATING
ANY COMPONENTS FROM THIS DRAWING.



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ABN: 33 662 688 119

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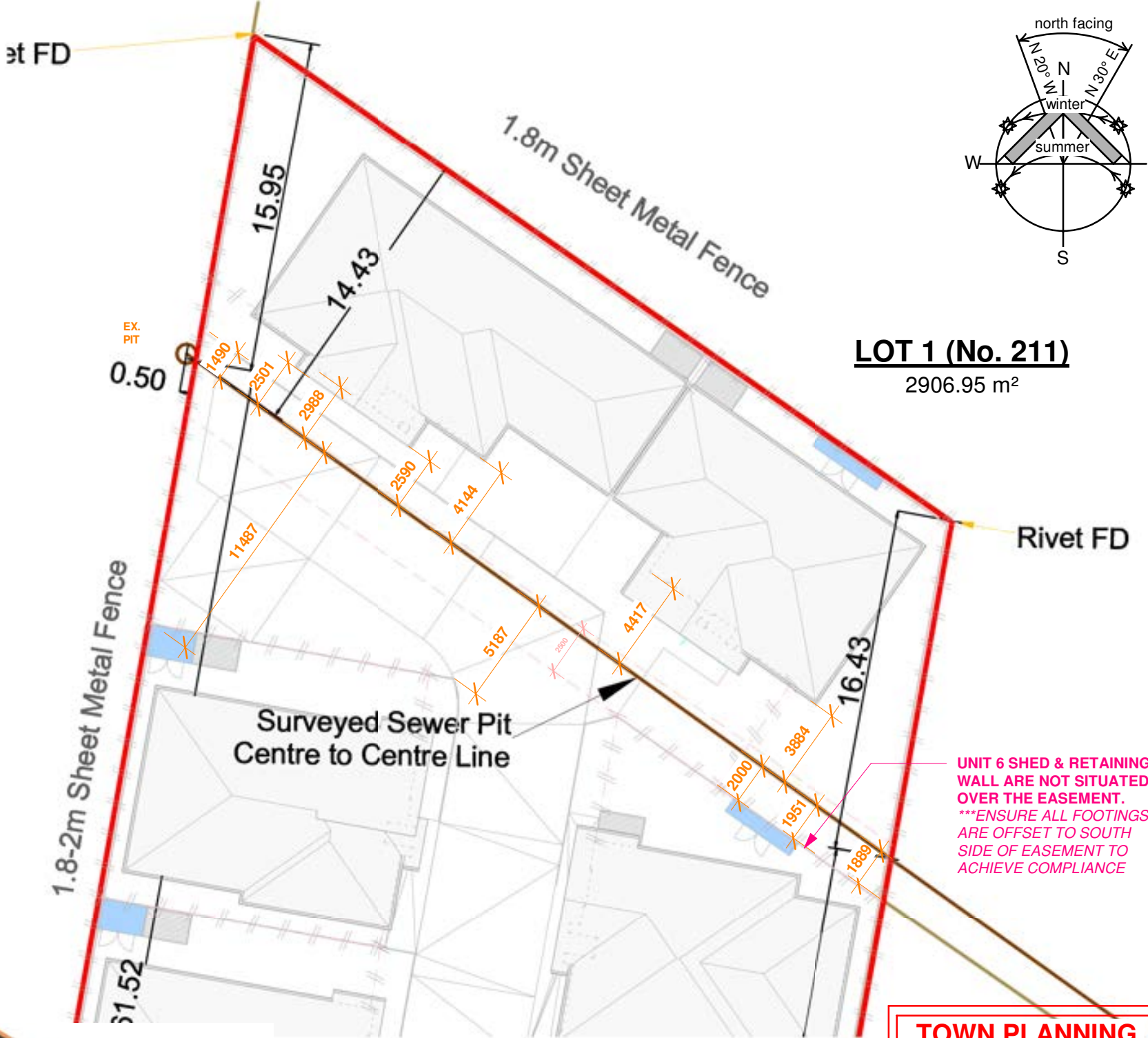
PROJECT CLIENT: DANIEL & NATASHA DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME:	
	ISSUE NUMBER:	TP	PR.WASTE MANAGEMENT PLAN	
	DRAWN BY:	HD		
	APPROVED BY:	DMC		
		SCALE:	1 : 300	DRAWING NO: A1310

COLIBAN REQUIREMENTS:

- AMENDED SITE PLAN SHOWING ANY PROPOSED STRUCTURE WITH 1M CLEARANCE FROM CORPORATION ASSETS, THIS INCLUDING EAVES AND GUTTERS.
- PROOF OF SEWER ALIGNMENT REQUIRED IN THE FORM OF A SITE SURVEY PLAN, SHOWING REAR BOUNDARY OFFSETS TAKEN AT BOTH THE EAST AND WEST BOUNDARY. PROOF OF SEWER MANHOLE SHOWN ON AMENDED PLANS LOCATED BEHIND 4/213 ANZAC AVENUE IS IN EXISTENCE WHERE INDICATED;

NOTE THAT WHILE A STRUCTURE IS TO BE A MINIMUM ONE METER Laterally Clear of Corporation Assets as previously noted, all nearby building footings are to be designed to meet the Corporation's requirement to protect assets from loading.



1 SEWER PIPE SITE PLAN
1 : 250

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REV	AMENDMENTS	DATE	BY	5D Surveying Engineering Surveyors 61 Powells Avenue, East Bendigo VIC 3550 w: www.5dsurveying.com.au e: admin@5dsurveying.com.au p: 1300 790 913	SUBJECT Surveyed Sewer Location 211 Anzac Parade Seymour	CLIENT DMC Drafting	SURV WH 31/10/24	DATE MGA2020 AHD



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ABN: 33 662 688 119

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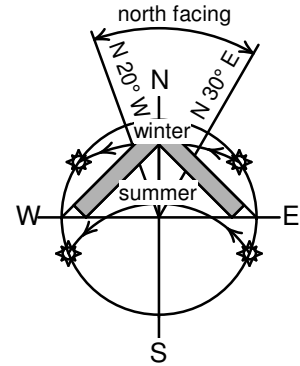
REVISIONS			
Rev. #	Date	Drawn	Description
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: DANIEL & NATASHA DUNA
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660
PROJECT: DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER: DMC714 - 10-22
DATE: 19.03.2025
ISSUE NUMBER: TP
DRAWN BY: HD
APPROVED BY: DMC

SHEET NAME: COLIBAN EASEMENT RFI's
SCALE: 1 : 250
DRAWING NO: A1314

REVISIONS			
Rev. #	Date	Drawn	Description
E	02.02.24	HD	REV TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE
PROJECT CLIENT: DANIEL & NATASHA DUNA			
ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660			
PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)			
PROJECT NUMBER:		DMC714 - 10-22	
DATE:		19.03.2025	
ISSUE NUMBER:		TP	
DRAWN BY:		HD	
APPROVED BY:		DMC	
SHEET NAME: BAL ASSESSMENT			
SCALE:		1 : 1000	
DRAWING NO:		A1401	



1

BAL ASSESSMENT
1 : 1000

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Bushfire Attack Level Assessment Report

(As per AS 3959-2018)

Property Details

Applicants Name: **DMC DRAFTING & DESIGN - HAYDEN DICKSON**

Contact Phone Number (H): **5443-5328**

(M):

Municipality **MITCHELL SHIRE**

Lot: **LOT 1 - LP137186**

Address: **211 ANZAC AVENUE, SEYMOUR**

Type of building work

New Class 1a building ☒

New Class 1b building ☐

New Class 10a building ☐

New Class 2 building ☐

New Class 3 building ☐

Alteration/Additions to an existing building ☐

Description of building work: e.g. single dwelling with attached garage

PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

Note:

Class 1a

- a single dwelling being— a detached house; or
- one of a group of two or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit.

Class 1b

- a boarding house, guest house, hostel or the like— with a total area of all floors not exceeding 300 m2 measured over the enclosing walls of the Class 1b; and in which not more than 12 persons would ordinarily be resident; or
- 4 or more single dwellings located on one allotment and used for short-term holiday accommodation, which are not located above or below another dwelling or another Class of building other than a private garage.

Class 10a

- a non-habitable building being a private garage, carport, shed, or the like.

Class 2

- a building containing 2 or more sole-occupancy units, each being a separate dwelling.

Class 3

- a residential building, other than a building of Class 1 or 2, which is a common place of long term or transient living for a number of unrelated persons, including— a boarding-house, guest house, hostel, lodging-house or backpackers accommodation; or
- a residential part of a hotel or motel; or
- a residential part of a school; or
- accommodation for the aged, children or people with disabilities; or
- a residential part of a health-care building which accommodates members of staff; or
- a residential part of a detention centre.

Bush Fire Attack Level (BAL)

Step 1: Relevant fire danger index

(Refer to clause 2.2.2)

FDI 50 ☐ Victorian alpine area

FDI 100 ☒ Victoria general – excluding alpine area

Step 2: Assess the vegetation types within 100m in all directions

Tick relevant group & type of vegetation

(Refer to table 2.3)

Vegetation classification	North	South	East	West
Group A Forest	☐ Tall open forest ☐ Tall woodland ☐ Open forest ☐ Low open forest ☐ Pine plantation	☐ Tall open forest ☐ Tall woodland ☐ Open forest ☐ Low open forest ☐ Pine plantation	☐ Tall open forest ☐ Tall woodland ☐ Open forest ☐ Low open forest ☐ Pine plantation	☐ Tall open forest ☐ Tall woodland ☐ Open forest ☐ Low open forest ☐ Pine plantation
Group B Woodland	☐ Woodland ☒ Low woodland	☐ Woodland ☒ Low woodland	☐ Woodland ☒ Low woodland	☐ Woodland ☒ Low woodland
Group C Shrub-land	☐ Closed (low) heath ☐ Open heath ☐ Low shrub-land	☐ Closed (low) heath ☐ Open heath ☐ Low shrub-land	☐ Closed (low) heath ☐ Open heath ☐ Low shrub-land	☐ Closed (low) heath ☐ Open heath ☐ Low shrub-land
Group D Scrub	☐ Closed scrub (Tall Heaths) ☐ Open scrub	☐ Closed scrub (Tall Heaths) ☐ Open scrub	☐ Closed scrub (Tall Heaths) ☐ Open scrub	☐ Closed scrub (Tall Heaths) ☐ Open scrub
Group E Mallee/Mulga	☐ Tall shrubland	☐ Tall shrubland	☐ Tall shrubland	☐ Tall shrubland
Group F Rainforest	☐ Tall closed forest ☐ Closed forest ☐ Low closed forest	☐ Tall closed forest ☐ Closed forest ☐ Low closed forest	☐ Tall closed forest ☐ Closed forest ☐ Low closed forest	☐ Tall closed forest ☐ Closed forest ☐ Low closed forest
Group G Grassland	☐ Open woodland ☐ Low open woodland ☐ Open shrubland ☐ Low open shrubland ☐ Hummock grassland ☐ Closed tussock grassland ☐ Tussock grassland	☐ Open woodland ☐ Low open woodland ☐ Open shrubland ☐ Low open shrubland ☐ Hummock grassland ☐ Closed tussock grassland ☐ Tussock grassland	☐ Open woodland ☐ Low open woodland ☐ Open shrubland ☐ Low open shrubland ☐ Hummock grassland ☐ Closed tussock grassland ☐ Tussock grassland	☐ Open woodland ☐ Low open woodland ☐ Open shrubland ☐ Low open shrubland ☐ Hummock grassland ☐ Closed tussock grassland ☐ Tussock grassland

REVISIONS

Rev. #	Date	Drawn	Description
E	02.02.24	HD	REV TP ISSUE
F	19.03.25	CML	REVISED TP ISSUE

PROJECT CLIENT: DANIEL & NATASHA DUNA

ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660

PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)

PROJECT NUMBER:

DMC714 - 10-22

DATE: 19.03.2025

ISSUE NUMBER: TP

DRAWN BY: HD

APPROVED BY: DMC

SHEET NAME:

BAL REPORT

SCALE:

DRAWING NO: A1402

AS3959:2018 - CONSTRUCTION OF BUILDINGS IN A BUSHFIRE-PRONE AREA (BAL NOTES)

SECTION 3 – GENERAL CONSTRUCTION REQUIREMENTS.

CLAUSE 3.1 – GENERAL.

This section specifies general requirements for the construction of buildings for all Bushfire Attack Levels (BALs). The BALs and the corresponding Sections within AS3959, for specific construction requirements are listed in accordance with Table 3.1.

CLAUSE 3.2 – CONSTRUCTION REQUIREMENTS FOR SPECIFIC STRUCTURES.

CLAUSE 3.2.1 – ATTACHED STRUCTURES AND STRUCTURES SHARING A COMMON ROOF SPACE.

Where any part of a garage, carport, veranda, cabana, studio, storage area or similar roofed structure is attached to, or shares a common roof space with, a building required to conform with this standard, the entire garage, carport, veranda, or similar roofed structure shall conform with the construction requirements of this Standard, as applicable to the subject building.

Alternatively, the structure shall be separated from the subject building by a wall that extends to the underside of a non-combustible roof covering, and that conforms with provisions within this Clause – refer to relevant requirements within the Standard.

CLAUSE 3.2.2 – GARAGES AND CARPORTS BENEATH THE SUBJECT BUILDING.

Where a garage or carport is beneath a building required to comply with this Standard, it shall conform with the construction requirements of this Standard, as applicable to the subject building.

Alternatively, any construction separating the garage or carport (including walls and flooring systems) from the remainder of the building shall confirm with provisions within this Clause – refer to relevant requirements within the Standard.

CLAUSE 3.2.3 – ADJACENT STRUCTURES ON THE SUBJECT ALLOTMENT.

Where any garage, carport, or similar roofed structure on the subject allotment is not attached to a building required to conform with this Standard, the structure shall conform with the construction requirements of this Standard. Alternatively, the adjacent structure shall be separated from the subject building at a distance of not less than 6m from the building required to conform with this Standard. This distance is measured as any of the horizontal straight lines from the adjacent structure to the subject building; or *provisions within this Clause – refer to relevant requirements within the Standard.*

TABLE F1

BUSHFIRE-RESISTANT SPECIES

Standard trade name	Botanical name
Ash, silvertop	<i>Eucalyptus sieberi</i>
Blackbutt	<i>Eucalyptus pilularis</i>
Gum, red, river	<i>Eucalyptus camaldulensis</i>
Gum, spotted	<i>Corymbia maculata</i>
Ironbark, red	<i>Eucalyptus sideroxylon</i>
Kwila (Merbau)	<i>Istia bijuga</i>
Turpentine	<i>Syncarpia glomulifera</i>



SECTION 5 - CONSTRUCTION REQUIREMENTS FOR BAL-12.5

CLAUSE 5.2 - SUBFLOOR SUPPORTS.

BAL-12.5 does not require any special construction requirements for subfloor supports where the subfloor space is enclosed with a wall that conforms with Clause 5.4; or a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze, or aluminium; or a combination of (a) and (b).

*****Note this requirement applies to the subject building only and not to verandahs, decks, steps, ramps, and landings (see Clause 5.7).**

CLAUSE 5.3 – FLOORS.

BAL-12.5 does not require any special construction requirements for concrete slabs on the ground, while special construction requirements are required for enclosed subfloor spaces and unenclosed subfloor spaces. For elevated floors, including bearers, joists and flooring, there is no special construction requirements where the subfloor space if enclosed with a wall that conforms with Clause 5.4; or a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze, or aluminium; or a combination of (a) and (b). Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall have bearers and joists be non-combustible; or bushfire-resistant timber; or a combination of (a) and (b), and flooring be non-combustible; or bushfire-resistant timber; or particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or a combination of (a), (b) and (c).

****Note this requirement does not apply to elevated floors, including bearers, joists and flooring is the underside of the element is 400mm or more above finished ground level.*

CLAUSE 5.4 – WALLS.

BAL-12.5 requires the exposed components of an external wall that are less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements shall be either non-combustible material including masonry, precast, in-situ and earth wall; timber logs in accordance with this Standard; or cladding that is fixed externally to the stud and is non-combustible, fibre-cement (min. 6mm thick) or bushfire-resistant timber. BAL-12.5 requires all joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed. BAL-12.5 requires vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

CLAUSE 5.5 – EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS.

Where fitted, BAL-12.5 requires bushfire shutter to conform with Clause 3.7 and be made from non-combustible materials; or a timber species as specified in Appendix E of this Standard; or bushfire resistant timber; or a combination of (a), (b) and (c). Where fitted, BAL-12.5 requires screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium. The frame supporting the mesh or perforated sheet shall be made from metal; or bushfire-resistant timber; or a timber species as specified in Appendix E of this Standard.

Windows – BAL-12.5 requires window assemblies shall be completed protected by bushfire shutters; or completely protected externally by screens; or conform with the following. Frame materials for window frames and window joinery shall be made of bushfire-resistant timbers; or a timber species as specified in Appendix E of this Standard; or metal; or metal-reinforced uPVC, for window assemblies less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements. BAL-12.5 does not have specific requirements for seals, weather strips and hardware for window assemblies. Where glazing is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements, it shall be Grade A safety glass with a minimum thickness of 4mm or glass blocks with no restriction on glazing methods. The openable portions of windows shall be screened internally or externally with screens that conform to Clause 3.6 and Clause 5.5.2.

Hinged Doors – BAL-12.5 requires side-hung external doors, including French doors, panel fold and bi-fold doors shall be completely protected by bushfire shutters; or completely protected externally by screens; or conform with the following. Door panel material shall be non-combustible; or solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35mm for the first 400mm above the threshold; or hollow core, solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35mm for the first 400mm above the threshold; or hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2; or for fully framed glazed door panels, the framing shall be made from metal or bushfire resisting timber or a timber species as specified in Appendix E or uPVC. Door frame material shall be bushfire resisting timber; or a timber species as specified in Appendix E; or metal; or metal-reinforced uPVC. BAL-12.5 does not have specific requirements for hardware and screens. BAL-12.5 requires weather strips, draft excluders or draft seals shall be installed on door assemblies and doors shall be tight-fitting to the door frame and to an abutting door, if applicable. Door glazing shall be Grade A safety glass with a minimum thickness of 4mm, or glass blocks with no restriction on glazing methods.

Sliding Doors - BAL 2.5 requires sliding doors shall be completely protected by bushfire shutters; or completely protected externally by screens; or conform with the following. Door frame material shall be bushfire resisting timber; or a timber species as specified in Appendix E; or metal; or metal-reinforced uPVC. BAL-12.5 does not have specific requirements for hardware, weather strips and screens. BAL-12.5 requires sliding doors shall be tight-fitting to the door frames. Door glazing shall be Grade A safety glass with a minimum thickness of 4mm, where incorporated.

Garage Doors – All garage doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide trackers do not need edge gap protection. Additionally, the lower portion of the garage door that is within 400mm of the ground when the door is closed shall be non-combustible material; or bushfire-resistant timber; or a timber species as specified in Appendix E; or a combination of the above. Garage doors with ventilation slots shall be protected in accordance with Clause 3.6.

CLAUSE 5.6 – ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIA’S AND GABLES, AND GUTTERS AND DOWNPIPES).

The following applies to all types of roofs and roofing systems – roof tiles, roof sheets and roof-covering accessories shall be non-combustible; the roof/wall and roof/roof junction shall be sealed or otherwise protected in accordance with Clause 3.6; Roof ventilation openings shall be fitted with ember guards made of non-combustible materials or a mesh or perforated sheet conforming with Clause 3.6 and, made of corrosion-resistant steel, bronze or aluminium; only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used.

Tiled Roofs – Tiled roofs shall be fully sarked and be located at the top of the framing, except that the roof battens may be fixed above the sarking; cover the entire roof area including ridges and hips; and extend into gutters and valleys.

Sheet Roofs – Sheet roofs shall be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or have any gaps sealed at the fascia or wall line, hips and ridges by – a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or mineral wool; or other non-combustible materials; or a combination of the above.

Verandah, Carport & Awning Roofs – A verandah, carport or awning roof forming part of the main roof space shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6. For verandah, carport or awning roofs separated from the main roof space by an external wall conforming with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.

Roof Penetrations – All roof penetrations shall be sealed (including roof lights, ventilators, cooling units and similar elements) with a non-combustible material. Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium. All overhead glazing shall be Grade A safety glass conforming with AS1288. Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, conforming with AS1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of a minimum 4mm in thickness shall be used in the outer pane of the IGU. Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five. Eave lighting shall be adequately sealed and not compromise the performance of the element.

Eaves Linings, Fascia's & Gables – Gables shall conform with Clause 5.4. Eave penetrations shall be protected in the same way as roof penetrations, as specified in Clause 5.6.5. Eave ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made from corrosion-resistant steel, bronze or aluminium. Joints in eave linings, fascia's and gables may be sealed with plastic joining strips or timber storm moulds. BAL-12.5 does not have specific construction requirements for fascia's, bargeboards and eave linings.

Gutters & Downpipes BAL-12.5 does not provide material requirements for gutters (excluding box gutters) and downpipes. If installed gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

CLAUSE 5.7 – VERANDAHS, DECKS, STEPS AND LANDINGS.

BAL-12.5 does not have specific requirements to enclose the subfloor space of verandahs, decks, steps, ramps or landings. Decking may be spaced – *refer additional notations regarding spacings under Clause C5.7.7 in the Standard.*

Enclosed Subfloor Spaces – BAL-12.5 does not provide construction requirements for the supports, framing and materials used to enclose a subfloor except where those materials are less than 400mm from the ground – where materials used to enclose less than 400mm from the ground must conform with Clause 5.4. BAL-12.5 does not provide construction requirements for decking, stair treads and the trafficable surface of ramps and landings that are more than 300mm from a glazed element. For decking, stair treads and the trafficable surface of ramps and landings less than 300mm (horizontally) and less than 400mm (vertically) shall be made from non-combustible materials; or bushfire-resisting timber; or a timber species as specified in Appendix E; or uPVC; or a combination of the above.

Unenclosed Subfloor Spaces – BAL-12.5 does not provide construction requirements for the supports and framing. BAL-12.5 does not provide construction requirements for decking, stair treads and the trafficable surface of ramps and landings that are more than 300mm from a glazed element. For decking, stair treads and the trafficable surface of ramps and landings less than 300mm (horizontally) and less than 400mm (vertically) shall be made from non-combustible materials; or bushfire-resisting timber; or a timber species as specified in Appendix E; or uPVC; or a combination of the above.

Balustrades, Handrails or Other Barriers – BAL-12.5 does not provide construction requirements for these elements.

Verandah Posts – BAL-12.5 requires verandah posts shall be timber mounted on galvanised mounted stirrups with a clearance of not less than 75mm above the adjacent finish ground level; or less than 400mm from the surface of the deck or ground shall be made from non-combustible materials; or bushfire-resisting timber; or a timber species as specified in Appendix E; or uPVC; or a combination of the above.

CLAUSE 5.8 – WATER AND GAS SUPPLY PIPES.

Above-ground, exposed water supply pipes shall be metal. External gas pipes and fittings above ground shall be steel or copper construction having a minimum wall thickness in accordance with gas regulation or 0.9mm whichever is the greater. The metal pipe shall extend a minimum of 400mm within the building and 100mm below ground.

TOWN PLANNING DRAWING SET

NOT FOR CONSTRUCTION

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	Rev. #	Date	Drawn	Description	ADDRESS: 211 ANZAC AVENUE, SEYMOUR 3660		PROJECT NUMBER: DMC714 - 10-22	DATE:	19.03.2025	SHEET NAME: BAL NOTES	
	E	02.02.24	HD	REV TP ISSUE	PROJECT: PR.RESIDENTIAL DEVELOPMENT (9x DWELLINGS - TWO OR MORE DWELLINGS ON A LOT)			ISSUE NUMBER:	TP		
	F	19.03.25	CML	REVISED TP ISSUE				DRAWN BY:	HD		
								APPROVED BY:	DMC	SCALE:	DRAWING NO: A1404